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**APPLICATION TO THE PLANNING BOARD**

Special Permit for a Formula Business

**Applicant:**

Beantown Donuts LLC  
DBA Dunkin' Donuts

**Property Location:**

655 Massachusetts Avenue  
Cambridge, MA

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# **VOLUME I**



CITY OF CAMBRIDGE, MASSACHUSETTS

# PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

## COVER SHEET

In accordance with the requirements of the City of Cambridge Zoning Ordinance, the undersigned hereby petitions the Planning Board for one or more Special Permits for the premises indicated below.

Parcel Address(s): 655 Massachusetts Avenue

Base Zoning District(s): Business B

Overlay Zoning District(s): Central Square Overlay District

Applicant Name: Beantown Donuts LLC

Applicant Address: 72 Junction Square Drive, Concord, MA 01742

Contact Information: Mark Pesce, Owner/Manager (978) 815-0455

Name Telephone #

mark@acmdonuts.com

Email Address

**Note that the Applicant is responsible for seeking all necessary special permits for the project. A special permit cannot be granted if it is not specifically requested in the Application.**

List all requested special permit(s) (with reference to zoning section numbers):

Zoning Section	Requested Special Permit
10.43	Special Permit
20.304.5.4	Special Permit - Formula Business

Denote other City of Cambridge Board/Commission Review Needed:

Board of Zoning Appeal (Variances)     Conservation Commission     Historical Commission

Denote applicable Committee Review and Public Outreach:

Central Square Advisory Committee     Harvard Square Advisory Committee     Community Meeting(s)

Signature of Applicant

10/9/2023

Date

CITY OF CAMBRIDGE, MA • PLANNING BOARD • SPECIAL PERMIT APPLICATION

**DIMENSIONAL FORM**

**Project Address: 655 Massachusetts Avenue**

**Date: 10/9/2023**

	<b>Existing</b>	<b>Allowed or Required (max/min)</b>	<b>Proposed</b>	<b>Permitted</b>
Lot Area (sq ft)	<b>8,628</b>	<b>none</b>	<b>No Change</b>	
Lot Width (ft)	<b>26'4"</b>	<b>none</b>	<b>No Change</b>	
Total Gross Floor Area (sq ft)	<b>21,536</b>	<b>21,536</b>	<b>No Change</b>	
Residential Base	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Non-Residential Base	<b>21,536</b>	<b>21,536</b>	<b>No Change</b>	
Inclusionary Housing Bonus	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Total Floor Area Ratio	<b>2.496</b>	<b>3.0</b>	<b>No Change</b>	
Residential Base	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Non-Residential Base	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Inclusionary Housing Bonus	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Total Dwelling Units	<b>15</b>	<b>N/A</b>	<b>No Change</b>	
Base Units	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Inclusionary Bonus Units	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Base Lot Area / Unit (sq ft)	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Total Lot Area / Unit (sq ft)	<b>N/A</b>	<b>N/A</b>	<b>No Change</b>	
Building Height(s) (ft)	<b>33'</b>	<b>55'</b>	<b>No Change</b>	
Front Yard Setback (ft)	<b>none - Business</b>	<b>none</b>	<b>No Change</b>	
Side Yard Setback (ft)	<b>none - Business</b>	<b>none</b>	<b>No Change</b>	
Side Yard Setback (ft)	<b>none - Business</b>	<b>none</b>	<b>No Change</b>	
Rear Yard Setback (ft)	<b>none - Business</b>	<b>none</b>	<b>No Change</b>	
Open Space (% of Lot Area)	<b>No Change</b>	<b>No Change</b>	<b>No Change</b>	
Private Open Space	<b>0</b>	<b>0</b>	<b>No Change</b>	
Permeable Open Space	<b>0</b>	<b>0</b>	<b>No Change</b>	
Other Open Space (Specify)	<b>0</b>	<b>0</b>		
Off-Street Parking Spaces	<b>No Change</b>	<b>No Change</b>	<b>No Change</b>	
Bicycle Parking Spaces	<b>No Change</b>	<b>No Change</b>	<b>No Change</b>	
Loading Bays	<b>0</b>	<b>0</b>	<b>No Change</b>	

*Use space below and/or attached pages for additional notes:*

OWNERSHIP CERTIFICATE

Project Address: 655 MASS. AVE.

Date: 10/16/23

To be completed by the Property Owner:

I hereby authorize the following Applicant:

DUNKIN DONUTS / TSG CONSULTING

at the following address:

279 EAST CENTRAL ST. SUITE 252 FRANKLIN, MA 02638

to apply for a special permit for:

A DUNKIN DONUTS

on premises located at:

655 MASS. AVE.

for which the record title stands in the name of:

CHOICE REALTY LLC

whose address is:

825 BEACON ST. #1 NEWTON MA 02459

by a deed duly recorded in the:

Registry of Deeds of County:

Middlesex Book: 26008 Page: 345

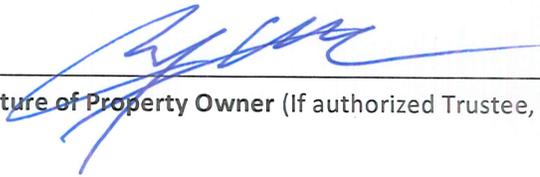
OR Registry District of the Land Court,

Certificate No.:

Book:

Page:

Signature of Property Owner (If authorized Trustee, Officer or Agent, so identify)



To be completed by Notary Public:

Commonwealth of Massachusetts, County of

MIDDLESEX

The above named

ROBERT WALSH

personally appeared before me,

on the month, day and year

10/16/2023

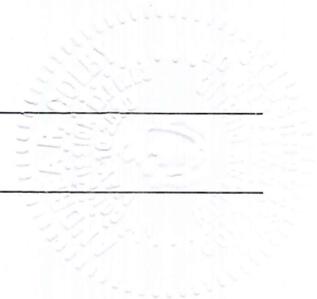
and made oath that the above statement is true.

Notary:

Andrea R. Colby

My Commission expires:

5/10/2030



FEE SCHEDULE

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**Project Address: 655 Massachusetts Avenue**

**Date: 10/9/2023**

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The Applicant must provide the full fee (by check made to City of Cambridge) with the Special Permit Application. The required fee is the larger of the following amounts:

- (a) The fee is ten cents (\$0.10) per square foot of total proposed Gross Floor Area noted in the Dimensional Form.
- (b) The fee is one thousand dollars (\$1,000.00) if Flood Plain Special Permit is sought as part of the Application and the amount determined above is less than \$1000.
- (c) The fee is one hundred fifty dollars (\$150.00) if the above amounts are less than \$150.

**Fee Calculation**

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(a) Proposed Gross Floor Area (SF) in Dimensional Form:	<b>1,259</b>	× \$0.10 =	<b>125.90</b>
(b) Flood Plain Special Permit fee		:	1000.00
(c) Minimum Special Permit fee		:	150.00
<b>SPECIAL PERMIT FEE</b>		<b>Enter Largest of (a), (b), and (c):</b>	<b>150.00</b>

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Blueprint Strategies  
A Division of TSG Consulting, LLC  
279 East Central Street, #252  
Franklin, MA 02038  
508-969-1314  
info@sweetgroupllc.com

October 9, 2023

Planning Board  
City of Cambridge  
344 Broadway  
Cambridge, MA 02139

**RE: Special Permit Application – 655 Massachusetts Ave  
Beantown Donuts LLC**

Dear Honorable Members of the Planning Board:

On behalf of my client, Beantown Donuts LLC, we are excited to present this application for a Special Permit to operate a formula business at 655 Massachusetts Ave, formerly a Starbucks Coffee location, in the vibrant heart of Central Square. This submission is in strict compliance with the Cambridge Zoning Ordinance (20.304.54), and it represents a unique opportunity to enrich the local community by reintroducing a Dunkin' Donuts at this pivotal site.

The petitioner, Mark Pesce, serves as the Owner and Manager of Beantown Donuts LLC, which operates as a subsidiary of The Pesce Network. Notably, Mr. Pesce is actively involved in overseeing more than 40 Dunkin' locations situated across the MetroWest and Greater Boston regions, in addition to The Needham General Store. Mr. Pesce and his wife, Megan Pesce, approach their business endeavors with a hands-on, family-owned perspective. Their commitment to providing exceptional customer service, nurturing a dedicated workforce, and maintaining clean and sanitary premises is palpable across all their business establishments.

For your consideration, I have enclosed Attachment A, which provides an in-depth overview of the petitioner's extensive experience as an owner and operator in the industry. The day-to-day operations of the proposed 655 Massachusetts Ave location will be under the direct management of the petitioner, who presently manages several Dunkin' Donuts locations within the City of Cambridge. These existing locations include 1 Broadway, 808 Memorial Drive, 1001 Massachusetts Ave, 65 JFK Street, and 61 Church Street. To ensure compliance and coordination, the petitioner has already met with Community Development Department staff and the Cambridge Square Advisory Committee. In addition, an onsite and virtual Community Meeting was held, and we have initiated the requisite permit procedures with the Cambridge ISD-Health Division and Licensing Commission.

With respect to the current site, it is our respectful assertion that its intended usage falls seamlessly within the boundaries of the BB-CSQ (Cambridge Square) Zoning District. This proposed venture will continue to positively impact and serve both the commercial and residential sectors of the neighborhood. Importantly, this conversion aligns harmoniously with the goals and aspirations outlined in the Central Square Action Plan. By fortifying the retail infrastructure to cater more comprehensively to the neighborhood's demands, creating spaces conducive to community engagement, and providing a retail establishment that caters to a diverse range of economic and social backgrounds, the proposed conversion aptly supports the plan's overarching objectives. Furthermore, the intention to establish compatible retail spaces neighboring residential areas ensures the promotion of a cohesive and balanced urban environment.

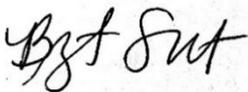
*Cambridge Planning Board  
Beantown Donuts LLC  
655 Massachusetts Ave  
October 9, 2023*

In our commitment to harmonize with the distinct character of Central Square, we propose a unique approach to branding and design for this Dunkin' Donuts location. Moving away from the traditional orange and pink color scheme, we aim to adopt a more subdued and locally inspired aesthetic. This design philosophy, focusing on natural materials, muted tones, and understated signage, will not only blend seamlessly with the existing architecture but also pay homage to the historical and cultural essence of the area. We believe this approach will resonate with the community, reflecting a sensitivity to the local environment while still providing the high-quality service and products associated with Dunkin' Donuts.

Thank you for considering this application for a Special Permit. We are eager to contribute positively to the growth and vitality of Central Square and are committed to ensuring that this new Dunkin' Donuts becomes an integral and harmonious part of the neighborhood.

Your time and attention to this matter are greatly appreciated.

Sincerely yours,  
**Blueprint Strategies**



Bridget L. Sweet, LP.D., RS, CP-FS, DAAS  
President & Principal Consultant  
Consultant/Agent for Beantown Donuts LLC

cc: Mark Pesce, Owner/Manager  
Beantown Donuts, LLC



**THE PESCE NETWORK**  
 ACTON · CONCORD · DOVER · FRAMINGHAM · MAYNARD  
 NATICK · NEEDHAM · WAYLAND · WELLESLEY

**ATTACHMENT A**

	Common Victualler License Held by Mark A Pesce
<b><u>ACM Donuts, LLC - Dunkin Donuts</u></b>	
44 Great Road, Acton MA 01720 (Mobil Station)	2019
100 Powdermill Road, Acton, MA 01720	2019
117 Thoreau Street, Concord, MA 01742	2019
182 Great Road, Acton, MA 01720	2019
315 Main Street, Acton, MA 01720	2019
<b><u>MDM Management Group LLC-Dunkin Donuts</u></b>	
1191 Main St, W Concord, MA 01742	2019
1643 Sudbury Road, Concord, MA 01742	2019
1089 Concord Trnpg, Concord, MA 01742 (Exxon St)	2019
5 Waltham St, Maynard, MA 01754 (Tedeschi Conv)	2019
212 Main St, Acton, MA 01720	2019
129 Parker St, Maynard, MA 01754	2019
<b><u>ND Donuts, LLC-Dunkin Donuts</u></b>	
1203 Highland Ave, Needham, MA 02494	2020
260 Chestnut Street, Needham, MA 02492	2020
399 Great Plain Ave, Needham, MA 02492	2020
14 Dedham Street, Dover, MA 02030	2020
<b><u>Pick Three Donuts LLC-Dunkin Donuts</u></b>	
692 Cochituate Road, Framingham, MA 01701	2021
15 East Plain Street, Wayland, MA 01778	2021
277 Linden Street, Wellesley, MA 02482	2021
223 North Main Street, Natick, MA 01760	2021
<b><u>AF Donuts LLC-Dunkin Donuts</u></b>	
1170 Worcester Rd, Framingham, MA 01702	2022
369 Mass Ave, Arlington, MA 02474	2022
430 Franklin Street, Framingham, MA 01702	2022
<b><u>BB Donuts, LLC</u></b>	
265 Boylston Street, Brookline, MA 02445	2022
1316 Beacon Street, Brookline, MA 02445 (Coolidge Corner)	2022
8 Harvard Street, Brookline, MA 02445 (Brookline Village)	2022
15 Comm Ave, Chestnut Hill, MA 02467 (Boston College)	2022
1912 Beacon Street, Brighton, MA 02135 (Cleveland Circle)	2022

**Beantown Donuts LLC**

49 Mt. Auburn Street, Watertown, MA 02472	2023
635 Mt. Auburn Street, Watertown, MA 02472	2023
448 Main Street, Watertown, MA 02472	2023
65 JFK Street, Cambridge, MA 02138	2023
52 Church Street, Belmont, MA 02478	2023
345 Washington Street, Newton, MA 02458	2023
530 Comm Ave, Boston, MA 02215	2023
353 Trapelo Road, Belmont, MA 02478	2023
850 Broadway, Somerville, MA 02144	2023
808 Memorial Drive, Cambridge, MA 02139	2023
61 Church Street. Cambridge, MA 02138	2023
1001 Mass Ave, Cambridge, MA 02138	2023
640 Arsenal Street, Watertown, MA 02472	2023
One Broadway, Cambridge, MA 02142	2023

**Lexing Donuts LLC**

286 Lincoln Street, Lexington, MA 02421	2023
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## ZONING ANALYSIS

Applicant: **Beantown Donuts LLC DBA Dunkin' Donuts**

Proposal: To open a new Dunkin' Donuts in Central Square at 655 Massachusetts Avenue, Cambridge, Massachusetts 02139 (the "Premises"). The Premises are located in the Business B Zoning District and the Central Square Overlay District. The Proposed Dunkin' Donuts will occupy a retail space of around 1,259 square feet (14 seats) on the ground floor of the building, previously occupied by Starbucks Coffee. No changes to the building's envelope or footprint are proposed as part of the build-out. A copy of the Applicant's proposed floor plan and sign plans have been submitted.

Special Permit Request: The Applicant is seeking a Special Permit to authorize the operation of a Formula Business in the City's Business B Zoning District and Central Square Overlay District.

Formula Business Definition (Cambridge Zoning Ordinance Section 2.0):

A Formula Business is defined as an individual Retail or Consumer Service establishment that is required, by contract, franchise agreement, ownership, or other legal obligation, to conform or substantially conform to a set of common design and operating features that identify the establishment as part of a larger group of similar businesses for business, marketing, and public relations purposes. An establishment is considered a Formula Business if it shares at least two of the following three characteristics with ten or more other establishments in Massachusetts or twenty or more other establishments:

- 1.) Trademark, service mark, or logo;
- 2.) Standardized building architecture, including facade design and signage;
- 3.) Standardized color scheme for the exterior.

Reason for Special Permit: The Applicant shares a trademark, logo, and standardized color scheme with ten or more other establishments in Massachusetts, making it necessary to seek a Special Permit to operate a Formula Business in Cambridge's Business B Zoning District and Central Square Overlay District. Elevations and plans showing the placement of the trademarks, logos, and color schemes have been submitted.

### **Compliance With Special Permit Criteria**

Cambridge Zoning Ordinance Section 10.43:

(a) Compliance with Ordinance Requirements: The proposed use by the Applicant, a franchisee of a national chain, qualifies as a Formula Business and cannot fully comply with Ordinance requirements without the requested relief.

(b) Traffic Impact: The proposed use is not expected to significantly affect traffic patterns or access/egress, as it anticipates primarily foot traffic. Convenient parking options, meters and public transportation are available nearby to minimize traffic disruptions.

(c) Impact on Surrounding Uses: The proposed fast-food operation aligns with the Business B Zoning District, complements the surrounding retail and residential mixed-use environment, and will not adversely affect neighboring businesses.

(d) Nuisance or Hazard: The requested relief will not create nuisances or hazards that jeopardize health, safety, or the welfare of occupants or citizens.

(e) Integrity of the District: The proposed coffee shop use aligns with permitted uses in the Business B Zoning District and will not compromise the district's integrity.

(f) Urban Design Objectives (Section 19.30): The coffee shop's design aligns with the Urban Design Objectives outlined in Section 19.30, complementing and enhancing the area's commercial and residential uses.

Central Square Overlay District Requirements Section 20.304.5.4:

(a) Historical Character: The proposed use complements the historical character of existing buildings and storefronts in Central Square, with signage designed to maintain the area's character.

(b) Variance from Standard Design: The proposed use preserves the unique character of the existing building, ensuring it is not adversely affected by the signage or usage.

(c) Unique Expressions of Central Square: The Applicant respects Central Square's history, ensuring the character of the existing building remains unaltered, distinguishing this Dunkin' Donuts from others in the region or Commonwealth.

This zoning analysis demonstrates that granting the Special Permit for the operation of a Formula Business in the Central Square Overlay District is consistent with the applicable requirements and will not be detrimental to the public interest. The proposed Dunkin' Donuts aligns with the local zoning regulations and will contribute positively to the Central Square community. The Applicant will respect the history of Central Square and the proposed use will not alter the character of the facade of the existing building, which will distinguish the Applicant's coffee shop from other franchisees within the Commonwealth. The Applicant operates Dunkin' Donuts operations in other unique distinguishing character neighborhoods in the City of Cambridge, Towns of Acton, Belmont, Concord and Lexington with like requirements.

## COMMUNITY OUTREACH SUMMARY

Prior to submitting the application for the Formula Business Special Permit, Beantown Donuts LLC, operating under the name Dunkin' Donuts, actively engaged in community outreach efforts in collaboration with the Community Development Department of the City of Cambridge. These efforts were aimed at securing the required permit.

On October 4, 2023, Beantown Donuts LLC, DBA Dunkin' Donuts, took part as panelists in a session with the Central Square Advisory Committee, as outlined in **Exhibit 1**. During this session, they delivered a comprehensive presentation and participated in discussions regarding the Formula Business Special Permit application, as well as the proposed signage. This meeting proved to be highly constructive and played a pivotal role in advancing the permit process.

*The project garnered unanimous support from the Central Square Advisory Committee, with attending members expressing their enthusiasm by stating, "It will be great to have Dunkin' back in Central Square."*

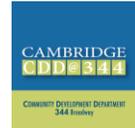
On October 11, 2023, Beantown Donuts LLC, DBA Dunkin' Donuts, conducted a virtual Pre-Application Public Community Meeting via Zoom. The purpose of this meeting was to share our proposal for the Dunkin' Donuts, discuss the application for the Formula Business Special Permit, and address any concerns related to proposed signage and operations. Notably, there were no attendees at this meeting, indicating a lack of objections or concerns from the local community regarding our application and proposal.

On October 12, 2023, Beantown Donuts LLC, DBA Dunkin' Donuts, conducted an onsite Pre-Application Public Community Meeting within the 655 Massachusetts Avenue space. This onsite meeting aimed to engage with the community, share details of our proposal, and address any potential concerns related to our application, signage, and overall business operations. Like the virtual meeting, there were no attendees, including no abutters, which suggests a lack of community objections or concerns regarding our proposal and application for the Special Permit.

*During both meetings, no objections were raised in response to the application, proposed signage, or the Formula Business Special Permit. Furthermore, there were no abutters in attendance.*

Given the lack of attendance at both meetings, it can be inferred that there are no immediate community objections or concerns regarding the establishment of a Dunkin' Donuts at 655 Massachusetts Avenue. This demonstrates community acceptance, or at the very least, a lack of opposition to our proposal and the application for the Special Permit. As the applicant team, we were fully prepared to address any queries or concerns that community members might have had.

The applicant ensured that all relevant abutters received a meeting flyer via mail, and notice of the meeting was prominently displayed on the City of Cambridge website more than 14 days in advance, as outlined in **Exhibit 2**.



## Central Square Advisory Committee City of Cambridge, Massachusetts

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### Meeting Agenda

October 4, 2023 at 6:00 p.m. via Zoom Webinar

Application materials and general information about the Central Square Advisory Committee can be found on the following webpage: <https://www.cambridgema.gov/CDD/zoninganddevelopment/advcomms/centraladvcomm>.

For further information, please contact Mason Wells, Associate Zoning Planner with the Cambridge Community Development Department, at 617-349-9794 or [mwells@cambridgema.gov](mailto:mwells@cambridgema.gov).

### Project Review and Discussion

- Planning Board Formula Business Special Permit Application – 655 Massachusetts Avenue (Dunkin Donuts)

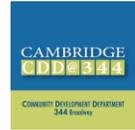
The Applicant is planning to apply to the Planning Board for a Dunkin Donuts located at 655 Mass Ave in a former Starbucks location. Fast Order/Quick-Service Food Establishments are an allowed use in this location, but all Formula Businesses within the Central Square Overlay District require a Planning Board Special Permit. Minimal exterior modifications are shown and new signage is proposed. Planning Board Special Permits within the Central Square Overlay District require review by CSAC.

### General Business

- Committee Member Updates  
Members of the Central Square Advisory Committee will share any information about Central Square that they think other members would be interested in.
- City Updates  
Staff from the Community Development Department (CDD) will share any information about development projects and city initiatives in or affecting Central Square.

### Adjourn

*PLEASE NOTE: This meeting will be held remotely in accordance with Chapter 2 of the Acts of 2023 adopted by the Massachusetts General Court and approved by the Governor. Members of the public can attend the meeting virtually through Zoom Webinar. Members of the public can also provide comments in writing or via email before the meeting. The City of Cambridge will provide reasonable accommodations to people with disabilities upon request. Please make requests for alternative formats as soon as possible by contacting the staff listed above.*



To join the Zoom webinar, click the following link: [https://cambridgema.zoom.us/webinar/register/WN\\_87vJgVt8SD-uXivLMOJ3gg](https://cambridgema.zoom.us/webinar/register/WN_87vJgVt8SD-uXivLMOJ3gg)

[https://cambridgema.zoom.us/webinar/register/WN\\_87vJgVt8SD-uXivLMOJ3gg](https://cambridgema.zoom.us/webinar/register/WN_87vJgVt8SD-uXivLMOJ3gg)

Check your e-mail (including spam/junk folder) for confirmation. If you do not have a computer or e-mail address, you may attend via phone by dialing +1 646 931 3860

The webinar ID is: 820 5164 8770

## **NOTICE OF PUBLIC MEETING**

Notice of Central Square Public Meeting -

Site Address: 655 Massachusetts Ave.  
Cambridge, MA 02139

Petitioner: Beantown Donuts, LLC c/o Mark Pesce (Owner)

Petition: Dunkin Donuts – Formula Business Planning Board Special Permit in the Central Square Overlay District (Section 20.304.5.4)

Members of the public can participate or view the meeting remotely using the Zoom Webinar link:

Virtual Meeting:

Date/ Time: **Oct 11, 2023 @ 06:00 PM** Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/84387093605?pwd=MUpuL1ZwMmt1MlZ1NUZmQ0h1a0FTdz09>

Meeting ID: 843 8709 3605

Passcode: 817538

(646) 558-8656

In person Meeting:

Date / Time: **Oct 12, 2023 @ 6:30 PM**

Location: 655 Massachusetts Ave.; Cambridge, MA 02139

105-81  
CENTRAL PROPERTY LIMITED PARTNERSHIP C/O  
RIVERSIDE MANAGEMENT  
P.O. BOX #440317  
WEST SOMERVILLE, MA 02144

105-74  
678 MASS AVE. LLC  
825 BEACON ST., SUITE 1  
NEWTON CENTER, MA 02159

90-170  
625 MASS AVE OWNER, LLC, C/O LINCOLN PROPERTY  
COMPANY  
53 STATE STREET, 8TH FLOOR  
BOSTON, MA 02109

107-136  
U.S. REIF CENTRAL PLAZA MASS. LLC. C/O  
INTERCONTINENTAL MGMT CORP  
1270 SOLDIERS FIELD RD  
BOSTON, MA 02135

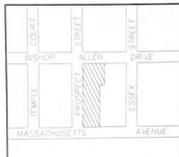
90-161  
CHOICE REALTY LLC  
825 BEACON ST., #1  
NEWTON CENTRE, MA 02459

106-105  
CENTRAL SQUARE LLC, C/O HUNNEMAN REAL ESTATE  
CORP.  
303 CONGRESS ST.  
BOSTON, MA 02210

106-123  
CARU CAMBRIDGE LLC.  
620 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02139

# **VOLUME II**

# SURVEY PLAN



**CURRENT DIMENSIONAL AND DENSITY REGULATIONS**  
(WHERE SITE IS LOCATED IN A BUSINESS B ZONING DISTRICT)

CRITERIA	REQUIRED	EXISTING
MINIMUM LOT FRONTAGE (FT.)	NONE	N/A
MINIMUM LOT AREA (S.F.)	NONE	N/A
MINIMUM FRONT YARD (FT.)	NONE	N/A
MINIMUM SIDE YARD (FT.)	NONE	N/A
MINIMUM REAR YARD (FT.)	NONE	N/A
PARKING SPACES	NONE	N/A
MAXIMUM NO. OF STORES/HEIGHT	80'	2.5/32'
MAXIMUM BUILDING AREA (SQ.)	NONE	N/A

THIS TABLE IS FOR REFERENCE PURPOSE ONLY. NO CERTIFICATION TO ZONING COMPLIANCE IS MADE OR IMPLIED.

**LOCUS MAP N.T.S.**

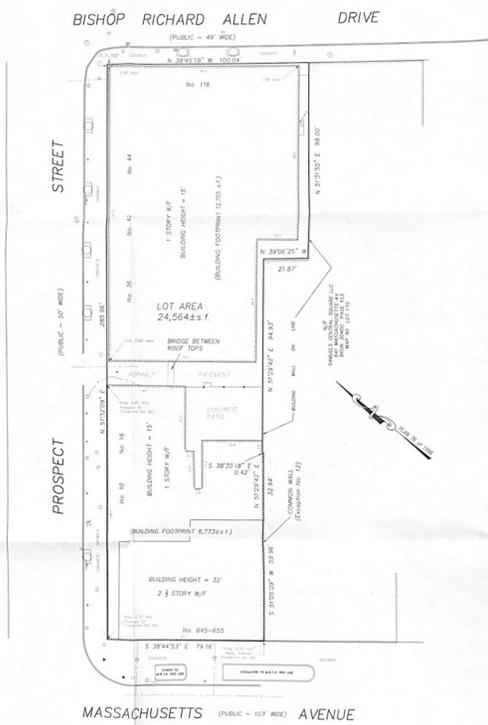
Exceptions: Commitment No. 1684481  
 Will report to exceptions 1-B & 11. Our certification is limited to any matters observed on the ground or from the air.  
 No. 8 As noted on the Survey.  
 No. 10 Not applicable.  
 No. 12 As noted on the Survey.  
 No. 13 Not applicable.

**EXHIBIT A COMMITMENT NO. 1684481**

A certain parcel of land with the buildings thereon, situated on the westerly side of Massachusetts Avenue, the southerly side of Prospect Street and the westerly side of Bishop Richard Allen Drive (formerly Austin Street) in the City of Cambridge, Middlesex County, Commonwealth of Massachusetts, and being shown as Lots A and B on a plan entitled "Plan of Premises in Cambridge, Mass., dated May 20, 1944, drawn by R.A. Mason & Sons, Civ. Surveyors, and recorded with the Middlesex South District Registry of Deeds as Map No. 227 of 1944 in Record Book 8758, Page 171.

The premises as more particularly described as that certain parcel of land with the buildings thereon situated on Massachusetts Avenue, Prospect Street and Bishop Richard Allen Drive in the City of Cambridge, Middlesex County, Commonwealth of Massachusetts and designated "TOTAL DEDICATION AREA 24,564 ± SQ. FT. OF LAND IN CAMBRIDGE, MASS., dated January 24, 1935, prepared by Hayes Engineering, Inc., Civil Engineers & Land Surveyors and recorded with the Middlesex South District Registry of Deeds as Plan No. 78 of 1935 in Book 30508, Page 244, and surveyed and platted according to said plan as follows:

- LEGEND**
- These standard symbols will be noted in the drawing:
- MANHOLE SEWER
  - MANHOLE DRAIN
  - MANHOLE TELEPHONE
  - MANHOLE ELECTRIC
  - PARKING METER
  - CATCH BASIN SQUARE
  - WATER GATE
  - GAS GATE
  - TREE
  - ELECTRIC BOX
  - LIGHT POLE
  - LIGHT TRAFFIC SIGN
  - BOLLARD
  - CHAIN LINK FENCE
  - OVER HEAD POWER
  - GAS
  - TELEPHONE



**GENERAL NOTES**

**OWNER OF RECORD:** Choice Realty LLC, 825 Beacon Street, Newton, MA 02459  
**DEED REFERENCE:** Book 28550, Page 444  
**PLAN REFERENCE:** Plan No. 78 of 1935  
**TAX MAP REFERENCE:** Map 90 Lots 161 & 162

**GENERAL LIABILITY NOTE**

All utility lines are by field location and/or computed according to available record plans and are approximate only. City & Dwyer, Inc. and its surveyors accept no responsibility for damages caused as a result of utilities. Call 1-800-DIGSAFE.

**SURVEYOR'S CERTIFICATE REQUIREMENTS**

I, David A. Dwyer, P.E., hereby certify that this survey, made by me or under my direction, on September 21, 2010, was made on the ground or per the field notes shown on this survey and correctly shows: (1) the boundary lines and areas of the subject property and the area adjacent thereto; (2) the locations of all rights-of-way, easements, and other matters of record affecting or encumbering the subject property; (3) the locations of the parking spaces on the subject property, together with the width and name thereof; and (4) all other significant items on the subject property, or street.

I also hereby certify that except as shown herein, there are no: (1) encroachments upon the subject property by improvements on adjacent properties; and (2) "encroachments on adjacent properties, streets or other shown herein, or other matters on the subject property, which are not shown or location restrictions set forth in any preliminary title report and its accompanying documents. I also hereby certify that this map and survey, on which it is based, were made in accordance with the "Minimum Standards (Basic Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and include items 2-A, 4, 7, 8, 9, 10, 11(a), 12 and 12B(a) of Title A thereof. Pursuant to the Attorney General's order as set forth in 817A and 817B in effect on the date of this certification, undersigned further certifies that in the professional branch, as a land surveyor registered in the Commonwealth of Massachusetts, the maximum practice professional liability does not exceed otherwise stated.

**NOTE:**  
 The Surveyor has relied upon the Commitment for Title Insurance issued by First American Title Insurance Company Number 184841, effective August 18, 2010, with regard to any recorded easements, rights of way or utilities affecting the subject property.

**ALTA/ACSM LAND TITLE SURVEY**  
**645-655 MASSACHUSETTS AV.**  
**2-50 PROSPECT STREET**  
**12-118 BISHOP RICHARD ALLEN DR.**  
**CAMBRIDGE, MASS. 02139**

PREPARED FOR:  
**CHOICE REALTY, LLC**  
**OTTE & DWYER, INC.**  
**LAND SURVEYORS**  
 WWW.OTTEDWYER.COM

59 APPLETON STREET SAUGUS, MA 01906  
 P.O. BOX 982 (781)233-8155  
 SCALE: 1"=20' SEPTEMBER 22, 2010  
 SURVEYOR

DATE: 9/21/10  
 SCALE: 1"=20'  
 SHEET NO. 11184

**Dunkin' Donuts**  
**655 Massachusetts Ave**  
**Cambridge, MA 02139**

**EXISTING CONDITIONS PHOTOGRAPHS**



**Dunkin' Donuts**  
**655 Massachusetts Ave**  
**Cambridge, MA 02139**

**EXISTING CONDITIONS PHOTOGRAPHS**

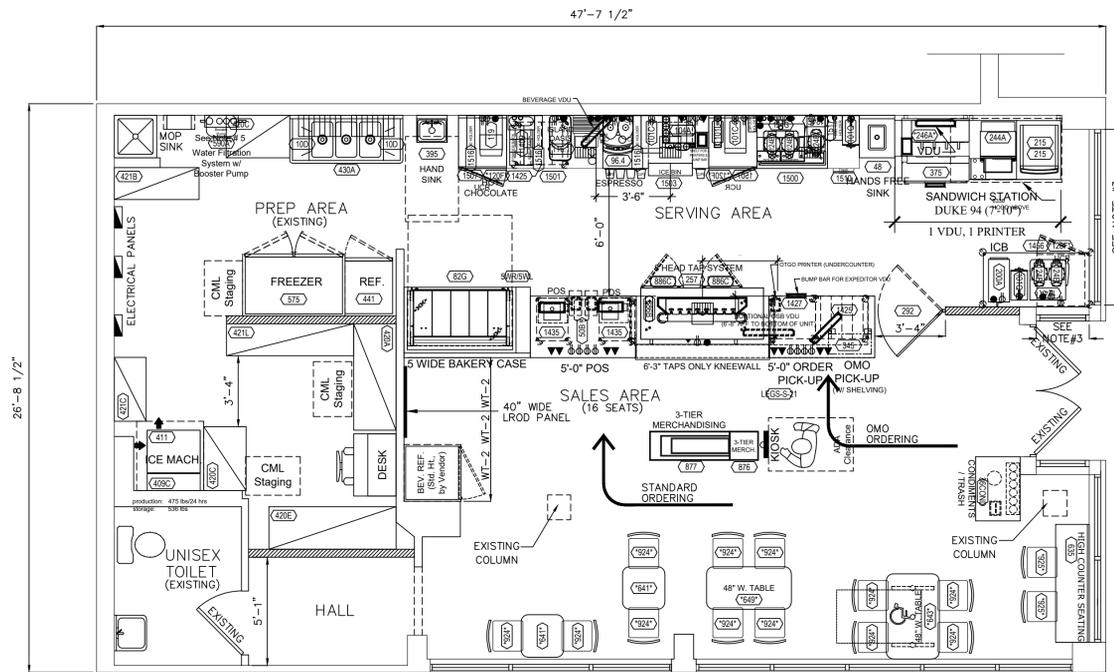


**Dunkin' Donuts**  
**655 Massachusetts Ave**  
**Cambridge, MA 02139**

**EXISTING CONDITIONS PHOTOGRAPHS**



# PROPOSED FLOOR PLAN



MASSACHUSETTS AVENUE

PROSPECT STREET

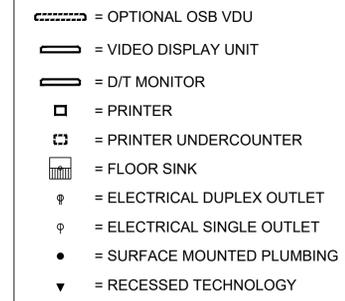
FLOOR PLAN  
SCALE: 1/4" = 1'-0"

214 SF Non-Retail  
1045 SF Retail  
1259 SF Total  
14 SEATS

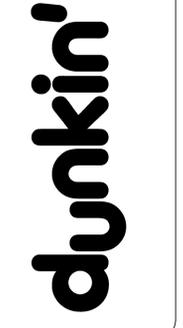


**NOTES:**

- FRANCHISEE'S ARCHITECT SHALL ENSURE 40" MINIMUM CLEAR ACCESS INTO AND THROUGHOUT THE STORE FOR DELIVERY OF LARGE EQUIPMENT ITEMS.
- FRANCHISEE'S ARCHITECT TO VERIFY COMPLIANCE WITH APPLICABLE ADA AND CODE REQUIREMENTS FOR RESTROOM(S) AND ENTRANCE(S).
- WINDOW(S) TO BE IN-FILLED, TINTED, OR BLOCKED OUT WITH APPROVED DBI WINDOW GRAPHICS.
- UNUSUAL UTILITIES:  
-TO ENHANCE THE D/T EXPERIENCE PLAN -  
-ACCORDINGLY TO EITHER REMOVE OR SCREEN -  
-WHEN POSSIBLE.
- DEFAULT WATER FILTRATION SYSTEM SHOWN -  
-ARCHITECT TO HAVE WATER TESTED TO VERIFY -  
-ACTUAL SYSTEM REQUIRED. BOOSTER PUMP CAN BE -  
-ELIMINATED IF INCOMING WATER PRESSURE TO THE -  
-BUILDING IS 65PSI OR HIGHER.
- DEFAULT EQUIPMENT FOOTPRINT SHOWN -  
-ARCHITECT TO COORDINATE WITH FRANCHISEE TO -  
-DETERMINE ACTUAL EQUIPMENT REQUIRED.



**ESCALATION NOTES:**  
If the items below cannot be addressed by the OM & CM, they will need to be reviewed and approved by the OD & DRC.  
  
\*\*If the no baking on site item cannot be addressed by all of the above, it will need to be reviewed and approved by the RVPs.  
  
1. No Baking on site. Without an oven, depending on the hours of operation and proximity of bagel supply, 3+ deliveries a day would be required.  
2. 7 LF Cooler Storage (Required: 15 LF).  
3. 7 LF Freezer Storage (Required: 25 LF).  
  
**GENERAL NOTES:**  
1. One kiosk shown, Brand standard is two ordering kiosk.  
2. OSHA required Eye wash Station not shown.



**JAMES D. SMITH,**  
**ARCHITECT**  
522 BAY LANE  
CENTERVILLE, MA 02632  
PHONE: 508-367-8920  
EMAIL: JAMES@SMITH1@COMCAST.NET

REVISIONS		
NO.	DESCRIPTION	BY DATE

JOB LOCATION:  
**CAMBRIDGE, MA**  
655 MASS. AVENUE  
  
FLOOR PLAN  
  
CONSTRUCTION: NEW LOCATION IMAGE TYPE: NEXT GEN OMNI COOL PALETTE

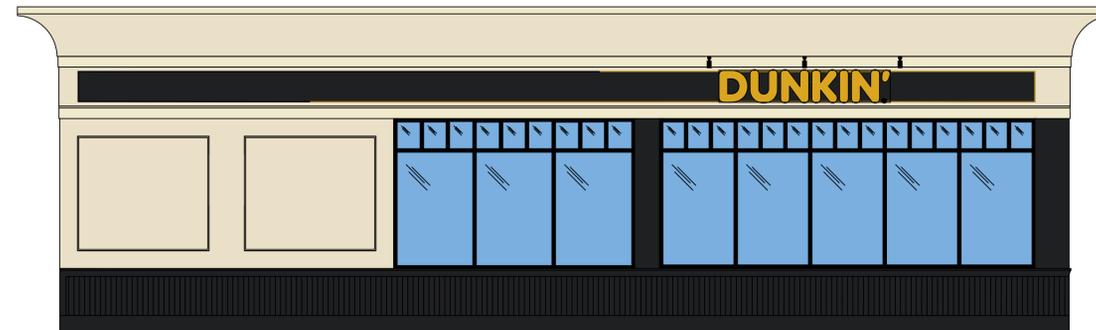
SHEET  
**A-1.0**  
JOB#: D23033  
DATE: 09/27/23  
PC#: 364942  
C.M.: MARK DONAHOE

# EXISTING AND PROPOSED ELEVATIONS



MASSACHUSETTS AVENUE

FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



PROSPECT STREET

LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



**JAMES D. SMITH  
ARCHITECTS**

522 BAY LANE  
CENTERVILLE, MA 02632  
PHONE: 508-367-8920  
EMAIL: JAMES@SMITH1@COMCAST.NET

REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	CM	10/02/23

JOB LOCATION:  
**CAMBRIDGE, MA**  
655 MASS AVENUE

EXTERIOR ELEVATIONS

CONSTRUCTION: REMODEL      IMAGE TYPE: NEXT GEN OMNI  
TBD PALETTE

SHEET  
**A-5.0**

JOB#: D23033  
DATE: 10/02/2023  
PC#: 364942  
C.M.: MARK DONAHOE

REVIEWED FOR DESIGN CONFORMANCE ONLY

APPROVAL FOR THESE PLANS BY DUNKIN' BRANDS DOES NOT IMPLY THAT DUNKIN' BRANDS HAS REVIEWED THEM FOR CONFORMITY TO APPLICABLE CODES OR REGULATIONS

- APPROVED
- APPROVED AS NOTED: Submit Record Copy for Archives
- DISAPPROVED AS NOTED: Revise and Resubmit
- INCOMPLETE INFORMATION: Add requested information and resubmit

DUNKIN' BRANDS QSR  
Construction Manager

Date: \_\_\_\_\_

Notes:

# DUNKIN'

ADDRESS:  
655 MASS AVENUE  
CAMBRIDGE, MA 02139

OWNER:  
MARK PESCE  
72 JUNCTION SQUARE DR.  
CONCORD, MA 01742



**JAMES D. SMITH  
ARCHITECTS**

522 BAY LANE  
CENTERVILLE, MA 02632  
PHONE: 508-367-8920  
EMAIL: JAMES@SMITHARCHITECTS.COM



DB-NOTES-TITLE					
&	AND	FT.	FOOT	Q.T.	QUARRY TILE
@	AT	FURN.	FURNITURE	QTY.	QUANTITY
A/C	AIR CONDITIONING	G.A.	GAUGE	R.A.	RADIUS
A.D.	AREA DRAIN	GALV.	GALVANIZED	RAD.	RADIUS
A.F.F.	ABOVE FINISH FLOOR	GYP. BD.	GYP. BOARD	REF.	REFRIGERATOR
ALUM.	ALUMINUM	HDWD.	HARDWOOD	REINF.	REINFORCING
ALT.	ALTERNATE	HDR.	HEADER	REV.	REVISION
APPROX.	APPROXIMATE	H.D.	HUB DRAIN	REQ'D	REQUIRED
BD.	BOARD	H.M.	HOLLOW METAL	RESIL.	RESILIENT
BLDG.	BUILDING	HORIZ.	HORIZONTAL	RM.	ROOM
BM.	BEAM	HGT.	HEIGHT	R.O.	ROUGH OPENING
BSMT.	BASEMENT	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE
BTWN.	BETWEEN	INSUL.	INSULATION	SEC.	SECTION
BOT.	BOTTOM	INT.	INTERIOR	S.F.	SQUARE FOOT
C.L.	CENTER LINE	JT.	JOINT	SHT.	SHEET
C.T.	CERAMIC TILE	KIT.	KITCHEN	SIM.	SIMILAR
CLG.	CEILING	LAM.	LAMINATE	SPEC.	SPECIFICATION
CLOS.	CLOSET	LAV.	LAVATORY	SQ.	SQUARE
CM	CONSTRUCTION MGR.	LT.	LIGHT	S.S.	STAINLESS STEEL
CMU	CONC. MASONRY UNIT	MAS.	MASONRY	STD.	STANDARD
COL.	COLUMN	MAX.	MAXIMUM	STL.	STEEL
COMBO	DUNKIN'/BASKIN DUNKIN'/TOGO'S TOGO'S/BASKIN	MECH.	MECHANICAL	STRUCT.	STRUCTURAL
		MTL.	METAL	SUSP.	SUSPENDED
		MFR.	MANUFACTURER	TEL.	TELEPHONE
CONC.	CONCRETE	MIN.	MINIMUM	THK.	THICK
CONT.	CONTINUOUS	MISC.	MISCELLANEOUS	THRU	THROUGH
CONST.	CONSTRUCTION	M.O.	MASONRY OPENING	T.O.P.	TOP OF PLATE
C.S.	CONSTRUCTION SPECIFICATIONS	MTD.	MOUNTED	T.O.S.	TOP OF STEEL
		N.I.C.	NOT IN CONTRACT	T.O.SL.	TOP OF SLAB
D.B.I.	DUNKIN' BRANDS INC.	NO.	NUMBER	TRT.	TREATED
DEPT.	DEPARTMENT	NOM.	NOMINAL	TYP.	TYPICAL
DTL.	DETAIL	N.T.S.	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE
D.F.	DRINKING FOUNTAIN	O.A.	OVERALL	V.C.B.	VINYL COMPOSITION BASE
DIA.	DIAMETER	O.C.	ON CENTER	V.C.T.	VINYL COMPOSITION TILE
DIM.	DIMENSION	O.D.	OUTSIDE DIAMETER	VERT.	VERTICAL
DISP.	DISPENSER	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
DN.	DOWN	OPT.	OPTIONAL	V.W.C.	VINYL WALL COVERING
DR.	DOOR	O.S.B.	ORIENTED STRAND BOARD	W/	WITH
D.S.	DOWN SPOUT			W.C.	WATER CLOSET
DWG.	DRAWING	PL.	PLATE	W/O	WOOD
EA.	EACH	P.LAM.	PLASTIC LAMINATE	W/P	WITHOUT
EL.	ELEVATION	PLUMB.	PLUMBING	WP.	WATERPROOFING
ELEC.	ELECTRICAL	PLYWD.	PLYWOOD	WT.	WEIGHT
EQ.	EQUAL	PR.	PAIR	WWW.	WELDED WIRE MESH
EQUIP.	EQUIPMENT	PROP.	PROPERTY		
EXIST.	EXISTING	P.S.F.	PER SQUARE FOOT		
EXT.	EXTERIOR	P.S.I.	PER SQUARE INCH		
F.D.	FLOOR DRAIN	PTD.	PAINTED		
FIN.	FINISH	P.V.C.	POLY VINYL CHLORIDE		
FL.	FLOOR				
F.O.	FACE OF				
FRP	FIBERGLASS REINFORCED PANELS				

DRAWING INDEX	
T-1.0	TITLE SHEET/ ARCHITECTURAL DATA RESPONSIBILITY
GN-1.0	CONSTRUCTION SPECIFICATIONS
GN-1.1	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.2	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.3	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.4	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.5	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.6	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.7	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-1.8	CONSTRUCTION SPECIFICATIONS (CONT.)
GN-2.0	MASTER FINISH SCHEDULE
GN-2.1	MASTER FINISH SCHEDULE (CONT.)
GN-2.2	MASTER FINISH SCHEDULE (CONT.)
GN-2.3	MASTER FINISH SCHEDULE (CONT.)
GN-2.4	MASTER FINISH SCHEDULE (CONT.)
GN-2.5	MASTER FINISH SCHEDULE (CONT.)
GN-2.6	MASTER FINISH SCHEDULE (CONT.)
GN-3.0	MASTER FINISH SCHEDULE (CONT.)
AB-1.0	AS-BUILT & DEMO FLOOR PLAN
AB-2.0	AS-BUILT ELEVATIONS
A-1.0	FLOOR PLAN; NOTES; DETAILS
A-1A	DIMENSION PLAN
A-2.0	REFLECTED CEILING PLAN; LIGHTING PLAN
A-2.1	NOTES; DETAILS
A-3.0	FINISH PLAN
A-5.0	EXTERIOR ELEVATIONS
A-8.0	INTERIOR ELEVATIONS
A-8.1	INTERIOR ELEVATIONS
A-9.0	INTERIOR DETAILS
K-1.0	EQUIPMENT PLAN
K-2.0	EQUIPMENT SCHEDULE
M-2.0	SANDWICH STATION HOOD DETAIL
E-2.0	ELECTRICAL POWER PLAN & ELEVATIONS
E-2.1	ELECTRICAL BACKLINE ELEVATIONS
E-3.0	TECHNOLOGY POS PLAN AND SCHEDULES
E-3.1	TECHNOLOGY DETAILS
P-1.0	PLUMBING PLAN; SCHEDULE; NOTES
P-2.0	PLUMBING PLAN; SCHEDULE; NOTES
P-3.0	3M WATER FILTRATION SYSTEM

**ADA STATEMENT**

I HEREBY CERTIFY THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE ADA ACCESSIBILITY GUIDELINES AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS

ARCHITECT'S SIGNATURE HERE \_\_\_\_\_ Date: \_\_\_\_\_

**DUNKIN' BRANDS REFERENCES**

DUNKIN NEXT GEN DESIGN/OMNI (REV. 04/14/21) GUIDELINES AND UPDATES V5.1

TYPE: COOL PALETTE

**DUNKIN' BRANDS DATA**

STORE DIMENSIONS:	SQ. FOOTAGE
DD RETAIL SALES AREA	1045 SQ. FT.
DD NON RETAIL AREA	214 SQ. FT.
DD TOTAL AREA:	1259 SQ. FT.

**SEATING:**

# OF TABLES	5
# OF SEATS	12
# OF BARRIER FREE SEATING UNITS	2
STAND UP COUNTERS (Y/N)	Y (N)
TOTAL # OF SEATS	14

**REST ROOMS:**

NUMBER OF RESTROOMS	1
PUBLIC ACCESS TO REST ROOMS	(Y) N
HANDICAP ACCESSIBLE	(Y) N

**DRIVE-THRU:**

YES/NO	NO
NUMBER OF DRIVE THRU WINDOWS	N/A
MENU BOARD SIZE (SINGLE, COMBO)	N/A
CAR LENGTHS FROM MENU TO WINDOW	N/A
STACKING (TOTAL # OF VEHICLES)	N/A
ESCAPE LANE	N/A
DRIVE THRU TIMER SYSTEM	N/A

**BUILDING DATA**

USE GROUP:	A2
TYPE OF CONSTRUCTION:	TYPE 5B
STORIES:	1
ALLOWABLE FLOOR AREA:	6000 S.F. - UN. HT.
ACTUAL FLOOR AREA:	1259 S.F.
<b>OCCUPANCY LOAD:</b>	
FIXED SEATS:	14 PERSONS
EMPLOYEES:	7 PERSONS
TOTAL OCCUPANCY:	21 PERSONS
<b>ELECTRICAL SERVICE:</b>	
600A 120/240V 3PH	

BASED ON FOLLOWING CODES:  
MASSACHUSETTS STATE BUILDING CODE 780CMR 9TH EDITION 2017  
INTERNATIONAL BUILDING CODE 2015  
INTERNATIONAL ENERGY CONSERVATION CODE 2015  
INTERNATIONAL MECHANICAL CODE 2015  
INTERNATIONAL PLUMBING CODE 2015  
NATIONAL ELECTRICAL CODE 2017  
STATE FIRE CODE SAF-C 6000

**DUNKIN' BRANDS DATA**

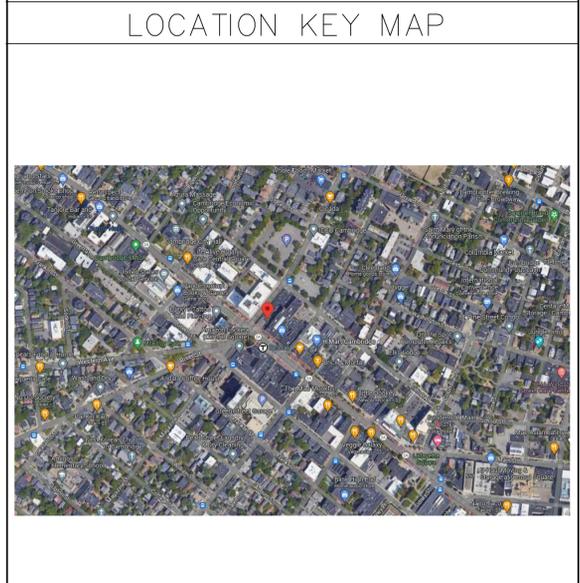
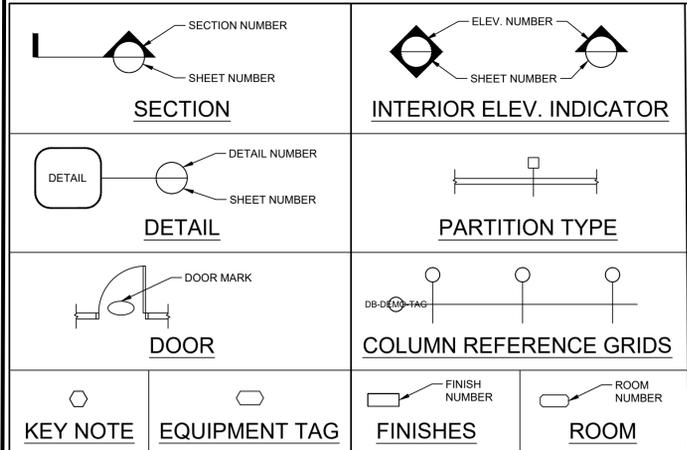
IMAGE TYPE:  
SINGLE BRAND / COMBO (DD) BR DD/BR

TYPE	SQ. FOOTAGE	DIMENSIONS
FASCIA (1)	12.11 SF	18" H "DUNKIN" PRIMARY SIGN (FRONT)
FASCIA (2)	6.45 SF	36" H ICON CUP SIGN (SIDE)
FASCIA (3)	4.0 SF	HANGING LED MEDALLION SIGN (FRONT)
FASCIA (4)	VARIES	12" (CITY) RUNS ON DUNKIN' (SIDE)

NOTE: ALL SIGNAGE SUBJECT TO APPROVAL BY CITY & APPLIED FOR UNDER SEPARATE PERMIT BY SIGN VENDOR

**WALK IN FREEZER/ COOLER:**

BRAND	N/A
LOCATION	N/A
CLG. HT. WHERE BOX IS LOCATED/CLEARANCE OVERHEAD	N/A
OVERALL DIMS.	N/A
FREEZER DIMS.	N/A
COOLER DIMS.	N/A
ANTE RM. DIMS.	N/A
REFRIGERATION SYSTEM	N/A
REFRIGERATION LOCATION	N/A
FLUSH SLAB OR DEPRESSED	N/A
HURRICANE OR SEISMIC TIE DOWNS REQ.'D	N/A
CASTERS FOR SHELVING	N/A



**REVISIONS**

NO	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	INOM	08/13/23

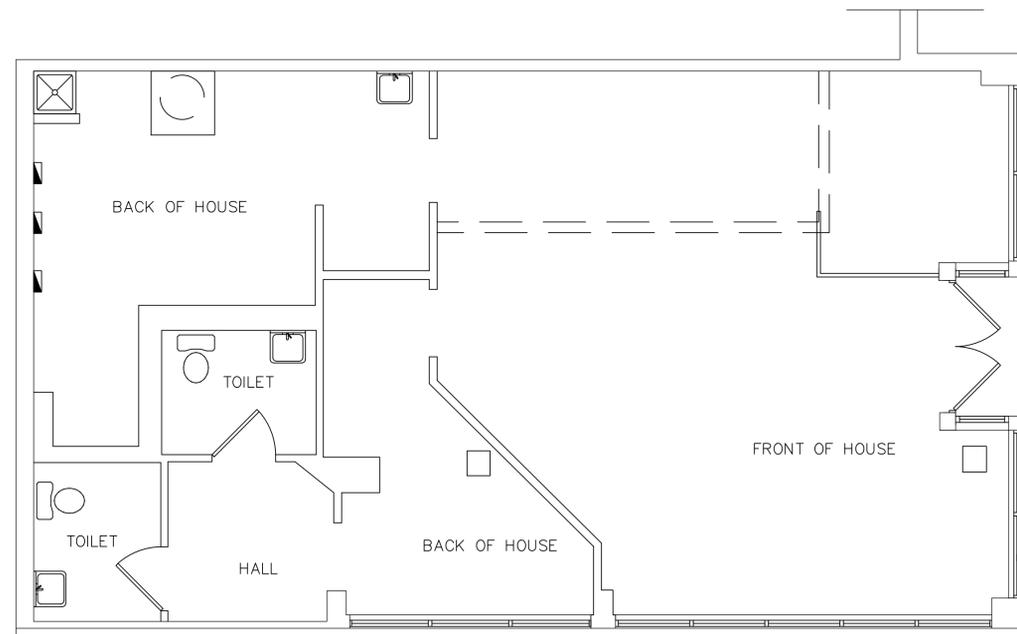
JOB LOCATION:  
CAMBRIDGE, MA  
655 MASS. AVENUE

TITLE SHEET

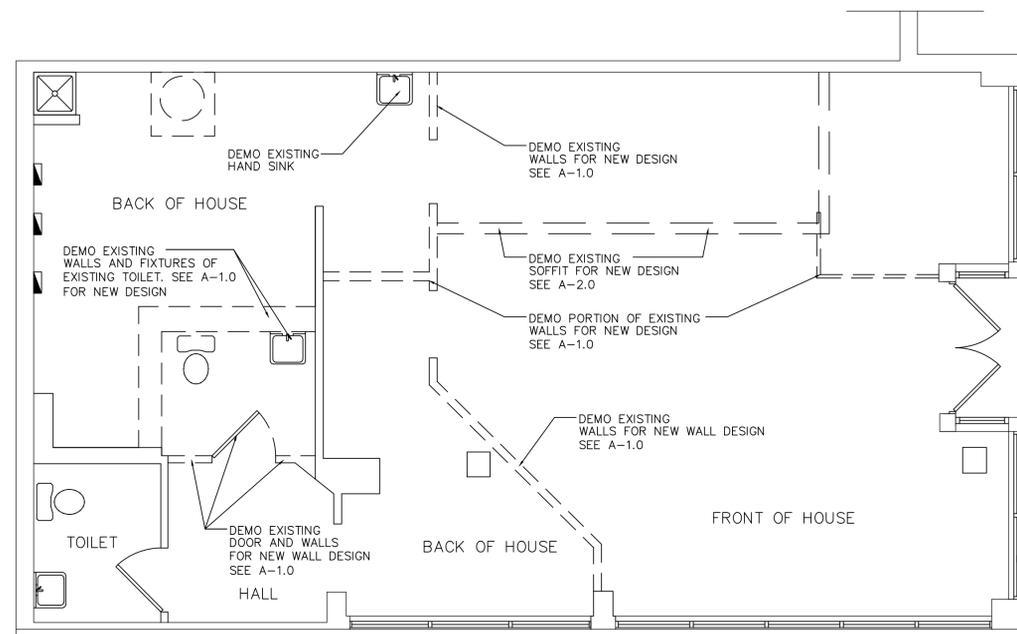
CONSTRUCTION:REMODEL  
IMAGE TYPE: NEXT GEN OMNI  
COOL PALETTE

SHEET  
**T-1.0**

JOB#: D23033  
DATE: 08/13/23  
PC#: 364942  
C.M.: MARK DONAHOE



AS-BUILT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



DEMO PLAN  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION AND NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL AND ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK WITH NEW CONSTRUCTION AND INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
3. DEMOLITION CONTRACTOR TO COORDINATE AND REVIEW ALL CONSTRUCTION DOCUMENTS AND DETERMINE THE EXTENT OF DEMOLITION WORK AND BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION BY THE ACT OF STARTING DEMOLITION. THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
4. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED WITH OWNER AND/OR LANDLORD. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OFF-SITE AND IN AN EXPEDITIOUS MANNER.
5. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 6" ABOVE FINISH CEILING.
6. SAWCUT AND REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL AND PLUMBING LINES. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS. VERIFY EXTENT OF WORK WITH KITCHEN EQUIPMENT MANUFACTURER.
7. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
8. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH AND REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION AND FINISHES.
9. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL AND HVAC WORK.
10. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK AND NOTIFY THE PIZZA HUT CONSTRUCTION MANAGER BEFORE PROCEEDING.
11. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH LOCAL REGULATIONS.
12. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
13. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP, PLUG ALL ABANDONED SUPPLY AND WASTE LINES. PATCH AND SEAL ALL FLOOR PENETRATIONS.
14. ALL DEVICES REMOVED DURING DEMOLITION SHALL HAVE ALL ASSOCIATED CONDUIT, WIRING, AND CONTROLS REMOVED BACK TO SOURCE OR NEXT DEVICE THAT REMAINS.
15. RE-FEED ANY ELECTRICAL DEVICE OR ITEM THAT IS EXISTING TO REMAIN WHOSE WIRING IS INTERRUPTED DUE TO RENOVATION IN ADJACENT AREA.
16. ANY ELECTRICAL DEVICE THAT IS TO REMAIN THAT IS LOCATED ON OR IN A WALL OR CEILING BEING REMOVED SHALL BE RELOCATED AS DIRECTED BY G.C. IN FIELD AND RECONNECTED AS REQUIRED.

**DEMOLITION NOTES**

1. DEMO EXISTING CEILING GRID/ TILES. NEW CEILING PER REFLECTED CEILING PLAN SHEET A-2.0.
2. NEW LED LIGHT FIXTURES. SEE CEILING PLAN A-2.0.
3. NOT USED
4. GC TO OBTAIN ALL CONSTRUCTION MATERIALS IN ADVANCE AND STORE WITHIN ONSITE STORAGE UNIT. MATERIALS WITHIN STORAGE UNIT ARE TO BE PACKED AND STAGED ACCORDING TO SEQUENCE OF PROJECT TO FACILITATE LOADING JOB.
5. EQUIPMENT SUPPLIER TO PLACE ALL NEW EQUIPMENT.
6. GENERAL CONTRACTOR TO PLACE ALL EXISTING EQUIPMENT AS INDICATED ON EQUIPMENT PLAN.
7. GENERAL CONTRACTOR TO MAKE ALL MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS FOR ALL THE EQUIPMENT AS INDICATED ON EQUIPMENT PLAN.
8. GENERAL CONTRACTOR TO DISCONNECT ALL EXISTING EQUIPMENT AS REQUIRED PER SCOPE OF OUTLINED WORK. SHUTDOWNS MAY BE STAGED, UNLESS MAJOR ELECTRICAL OR PLUMBING WORK IS REQUIRED THAT COULD CAUSE DAMAGE TO EQUIPMENT THAT IS CONNECTED.
9. NOT USED
10. GC TO COORDINATE PERMIT, APPROVALS, AND LOCATION OF DUMPSTER AND STORAGE UNIT PRIOR TO STORE CLOSING.
11. BACK OF HOUSE TO BE THOROUGHLY CLEANED INCLUDING ALL WALLS, FLOORS, RACKS, ETC.
12. CONSULT OWNER TO REPLACE TOILET FIXTURES. SEE PLUMBING PLAN P-1 FOR RESTROOM EQUIPMENT SCHEDULE.
13. REMOVE ALL EXISTING BUILDING SIGNS. SEE EXTERIOR ELEVATION SHEET FOR NEW SIGNS. SIGN VENDOR TO APPLY FOR PERMITS.
14. NOT USED
15. NEW GYP. BOARD CEILING IN TOILET. PAINT CEILING. NEW LED LIGHT FIXTURES. NEW MOTION SENSORS. SEE CEILING PLAN A-2.0.
16. NEW FLOOR TILE IN SALES/SERVICE/HALL/TOILET AREAS.
17. ADD NEW VEHICLE CLEARANCE BAR. SEE EXTERIOR DETAIL SHEET A-5.1.
18. NOT USED
19. NOT USED
20. REMOVE EXISTING WALL FINISHES. ALL NEW WALL FINISHES. SEE INTERIOR ELEVATIONS A-8.0/8.1.
21. REPAIR ANY DAMAGED ASPHALT. RE-SEAL/RE-STRIP PARKING AS REQUIRED. UPDATE SITE LIGHTING TO LED. CONSULT OWNER.
22. ALL EXISTING CAMERAS/EMERGENCY FIXTURES TO REMAIN. DISCONNECT AS REQUIRED. RELOCATE CAMERAS & RE-WIRE SPEAKERS AS REQUIRED.
23. NEW BACKLINE SOFFIT. NEW SOFFIT LIGHT FIXTURES PER CEILING PLAN A-2.0.
24. NEW CHAIR RAIL PER INTERIOR ELEVATIONS.
25. G.C. TO REPLACE/REPAIR ANY DAMAGED STORE FRONT, WOOD SIDING, GUTTERS ETC.
26. REPLACE/REPAIR ANY DAMAGED DOORS.
27. ALL SITE LIGHTS & SIGN PLOES TO BE RE-PAINTED. REPLACE/REPAIR NON-WORKING LIGHT FIXTURES.
28. REPLACE/REPAIR ANY DAMAGED STORE FRONT FRAMES/PANELS.
29. G.C. TO PROVIDE NEW CONCRETE PAD AT DRIVE-THRU MENU BOARD.
30. ALL SALES AREA CEILING FIXTURES INCLUDING SPEAKERS, DIFFUSERS ETC. TO BE PAINTED BLACK TO MATCH NEW CEILING TILE/GRID.



**JAMES D. SMITH  
ARCHITECTS**

522 BAY LANE  
CENTERVILLE, MA 02632  
PHONE: 508-357-8920  
EMAIL: JAMES@SMITH1@CONCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	INOM	08/13/23

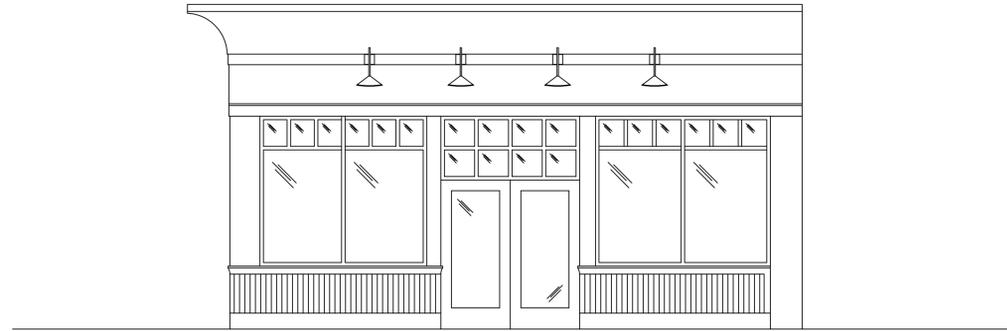
JOB LOCATION:  
**CAMBRIDGE, MA**  
655 MASS. AVENUE

AS-BUILT & DEMO FLOOR PLAN

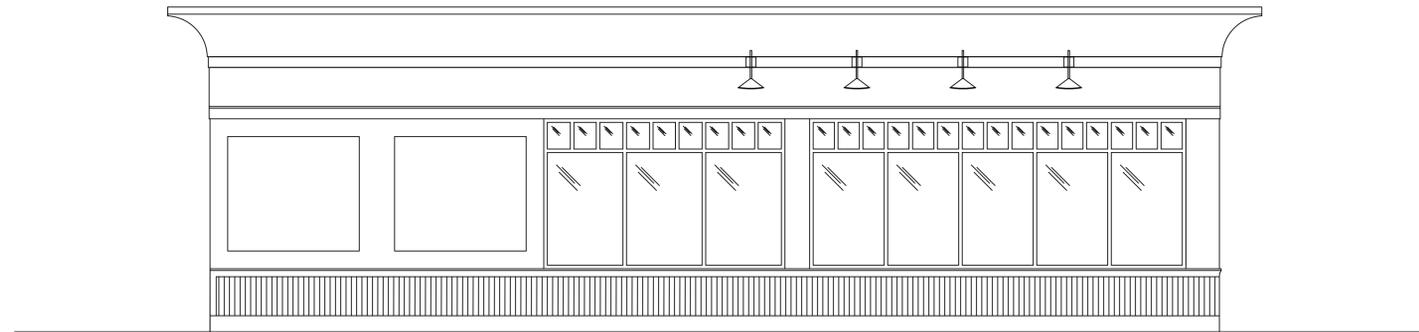
CONSTRUCTION: REMODEL  
IMAGE TYPE: NEXT GEN OMNI COOL PALETTE

SHEET  
**AB-1.0**

JOB#: D23033  
DATE: 08/13/23  
PC#: 364942  
C.M.: MARK DONAHOE



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



**JAMES D. SMITH  
ARCHITECTS**  
522 BAY LANE  
CENTERVILLE, MA 02632  
PHONE: 508-357-8920  
EMAIL: JAMES@SMITH1@COMCAST.NET



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1	INITIAL ISSUE	NCM	08/13/23

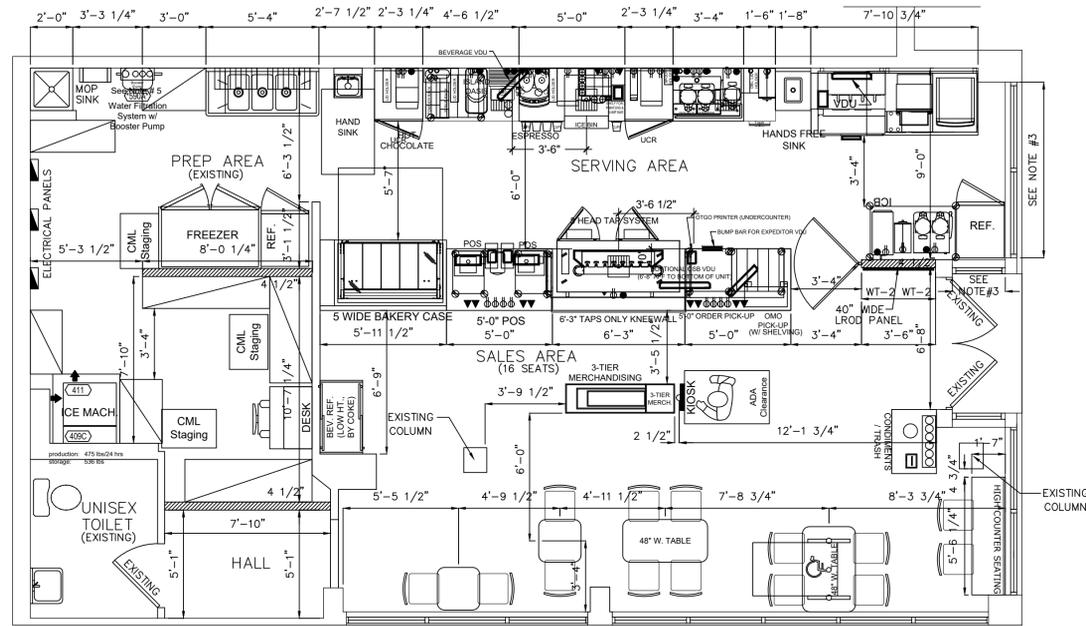
JOB LOCATION:  
**CAMBRIDGE, MA**  
655 MASS. AVENUE

**AS-BUILT ELEVATIONS**

CONSTRUCTION: REMODEL      IMAGE TYPE: NEXT GEN OMNI COOL PALETTE

SHEET  
**AB-2.0**

JOB#: D23033  
DATE: 08/13/23  
PC#: 364942  
C.M.: MARK DONAHOE



DIMENSION PLAN  
SCALE: 1/4" = 1'-0"



**JAMES D. SMITH ARCHITECTS**  
522 BAY LANE  
CENTERVILLE, MA 02632  
PHONE: 508-357-8920  
EMAIL: JAMES@SMITH1@COMCAST.NET



NO.	DESCRIPTION	BY	DATE

JOB LOCATION:  
**CAMBRIDGE, MA**  
655 MASS. AVENUE

**DIMENSION PLAN**

CONSTRUCTION: REMODEL    IMAGE TYPE: NEXT GEN OMNI COOL PALETTE

SHEET  
**A-1.A**

JOB#: D23033  
DATE: 08/13/23  
PC#: 364942  
C.M.: MARK DONAHOE

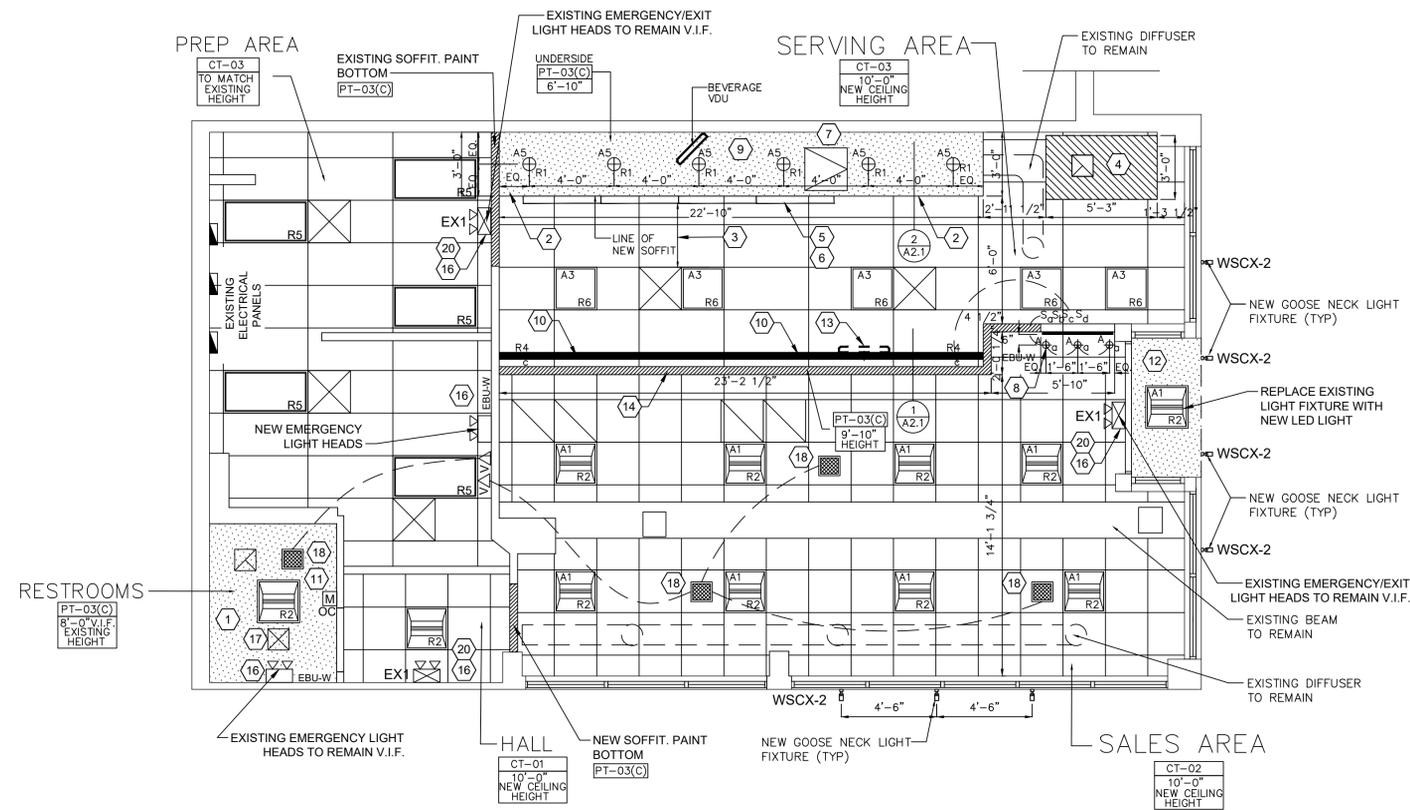


NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	NGM	08/13/23

JOB LOCATION:  
**CAMBRIDGE, MA**  
655 MASS. AVENUE

REFLECTED CEILING PLAN

CONSTRUCTION: REMODEL  
IMAGE TYPE: NEXT GEN OMNI COOL PALETTE



**REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"

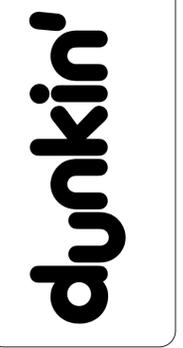
CEILING LEGEND:	
	2x4 LAY-IN LED LIGHT FIXTURE W/ LENS
	2x2 LAY-IN LED TROFFER LIGHT FIXTURE
	2x2 LAY-IN LED LIGHT FIXTURE W/ LENS
	LED-12/ LED-13/ LED-14 EXTERIOR LED TAPE LIGHT
	EXTERIOR RECESSED LIGHT FIXTURE
	LED RECESSED SOFFIT LIGHT FIXTURE
	ORANGE LIGHT BAR FIXTURE
	WALL WASH FIXTURE
	EXISTING WALL MTD EMERG LIGHT TO REMAIN.
	WALL MTD EMERG LIGHT/EXIT SIGN COMBO
	WALL MTD EXIT SIGN
	CEILING MOUNTED SPEAKER
	GYPSUM BOARD CEILING
	TRACK LIGHT
	2"x2" CEILING GRID SYSTEM
	2"x4" CEILING GRID SYSTEM
	12"x12" SUPPLY AIR DIFFUSER
	GOOSE NECK LIGHT FIXTURE (TYP.)
	WALL PACK
	WALL-MTD OCCUPANCY SENSOR (IN BOTH TOILETS & OFFICE)
	CEILING EXHAUST REGISTER
	24"x48" SUPPLY AIR DIFFUSER
	24"x48" RETURN AIR DIFFUSER
	SWITCH

**GENERAL NOTES:**

- ALL INTERIOR & EXTERIOR LIGHTING TO BE LED.
- EFFECTIVE LIGHTING CONTROLS STANDARD THROUGHOUT. OCCUPANCY SENSORS TO BE USED IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY (RESTROOMS, OFFICE, CONFERENCE ROOMS AND ETC.). INTEGRATE OCCUPANCY SENSORS IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY INCLUDING: RESTROOMS, OFFICE, WALK-IN BOX, CONFERENCE ROOMS & CLOSETS.
- REFER TO MASTER FINISH SCHEDULE FOR CEILING FINISHES.
- ACT CEILING IN SEATING/QUEUING VESTIBULE TO BE CT-02 "BLACK" CEILING TILE). ALL DEVICES (DIFFUSERS, RETURNS, SMOKE DETECTORS, ETC.) TO MATCH CEILING.
- LAYOUT NOTES:
  - PROVIDE EMERGENCY LIGHTS & SMOKE DETECTORS AS REQUIRED BY LOCAL GOVERNING CODE.
  - ADD THE RH REMOTE WEATHER PROOF EMERGENCY HEAD (PRODUCT #Z1PB) TO THE EXTERIOR EGRESS DOORS IF REQUIRED BY CODE.
  - HOOD OVER SANDWICH STATION IS RECOMMENDED BUT NOT REQUIRED. ARCHITECT / ENGINEER MUST REVIEW LOCAL CODES TO DETERMINE WHETHER A HOOD IS REQUIRED. IF A HOOD IS NOT USED IT IS REQUIRED THAT AN EXHAUST GRILL BE PLACED IN THE CEILING ABOVE THE SANDWICH STATION. IF NO EXHAUST IS PROVIDED AT THE SANDWICH STATION THE FRP PANELS AND / OR DIGITAL MENU BOARDS COULD BE AFFECTED BY THE HEAT FROM THE SANDWICH STATION.
- MUSIC SYSTEM NOTES: THE MUSIC SYSTEM IS A REQUIREMENT OF THE BRAND. ARCHITECTS TO FOLLOW ALL GUIDELINES LISTED BELOW.
  - MUSIC SYSTEM IS REQUIRED IN ALL NEW AND REMODEL STORES. ALL CEILING SPEAKERS TO BE FLUSH MOUNTED @ GYP. BOARD CLG. & ACT CLG. ALL INTERIOR SPEAKERS TO MATCH SURFACE IT IS MOUNTED ON. ALL EXTERIOR SPEAKERS TO BE BLACK, WITH EXTERIOR GRADE CONSTRUCTION.
  - ONE SPEAKER IN EACH RESTROOM- FLUSH MOUNT.
  - A MINIMUM OF TWO SPEAKERS IN THE SEATING AREA NO SPEAKERS IN THE SERVICE AREA.
  - A MINIMUM OF TWO SPEAKERS AT EXTERIOR SEATING AREAS WHERE APPLICABLE.
  - SPEAKER AT EXTERIOR OF BUILDING ADJACENT TO ENTRY.
  - PROVIDE AND INSTALL SEPARATE VOLUME CONTROLS FOR EACH AREA (RESTROOMS, SEATING AREA, EXTERIOR)
  - HARDWARE TO BE INSTALLED IN THE OFFICE. FIELD VERIFY AND COORDINATE WITH FRANCHISE FOR THE EXACT LOCATION OF THE UNIT AND VOLUME CONTROLS.

**PLAN NOTES:**

- NEW GYPSUM WALL BOARD CEILING. PAINT CEILING. REPLACE EXISTING TILES
- NEW BACKLINE SOFFIT. REFER TO INTERIOR ELEV. FOR PAINT FINISH.
- ARCHITECT TO ENSURE THAT ADEQUATE DISTANCE IS MAINTAINED BETWEEN DIGITAL MENU BOARDS AND OTHER OBSTRUCTIONS SUCH AS LIGHTS, SPRINKLER CAUSE UNWANTED GLARE. HEAT FROM TOASTER WILL LEAD TO SCREEN FAILURE. HEADS, CAMERAS, AND TOASTER/OVEN. 36" MIN. DISTANCE BETWEEN DMB AND EACH OBSTRUCTION IS PREFERRED. LIGHTS PLACED TOO CLOSE TO DMB MAY CAUSE UNWANTED GLARE. HEAT FROM TOASTERS WILL LEAD TO SCREEN FAILURE
- NEW EXHAUST HOOD FOR SANDWICH STATION WITH ROOF FAN REQUIRED PER DBI STANDARDS.
- 4- 49" (DEFAULT SIZE) DIAGONAL BOARDS IS 176" L (14'-8") AND 26 1/2"H (2'-2 1/2")
- NEW DIGITAL MENU BOARDS ON NEW BACKLINE SOFFIT. CENTER WITH POS STATION AT FRONT LINE. PROVIDE ELECTRICAL CONNECTION AS REQUIRED.
- 24"x24" ACCESS PANEL
- 40" WIDE "LROD" PANEL ARTWORK - SEE INTERIOR ELEVATIONS
- NEW SOFFIT. GYPSUM BOARD CEILING
- CUSTOM LIGHT BAR, MOUNTED @8'-7" A.F.F., SEE DETAIL #1/ SHEET A-2.1
- GC TO INSTALL OCCUPANT SENSOR IN RESTROOMS/OFFICE AT 42" A.F.F. TIE EXISTING EXHAUST FAN AND LIGHT TO SENSOR.
- EXISTING GYPSUM WALL BOARD CEILING. PAINT CEILING
- G.C. TO PROVIDE BLOCKING AND TO INSTALL CEILING MOUNT POLE (PROVIDED BY VENDOR) FOR ORDER STATUS BOARD.
- FRONTLINE SOFFIT TO ALIGN WITH MILLWORK BELOW.
- NOT USED
- EXISTING EMERGENCY LIGHT TO REMAIN.
- GC TO PAINT EXISTING SUPPLY DIFFUSER CEILING FINISH COLOR.
- CEILING MOUNT SPEAKERS. PAINT WHITE COLOR IN RESTROOM AND BLACK IN SALES AREA.
- NOT USED
- EXISTING EXIT SIGNS TO REMAIN.



**JAMES D. SMITH ARCHITECTS**  
 522 BAY LANE  
 CENTERVILLE, MA 02632  
 PHONE: 508-357-8920  
 EMAIL: JAMES@SMITH1@COMCAST.NET



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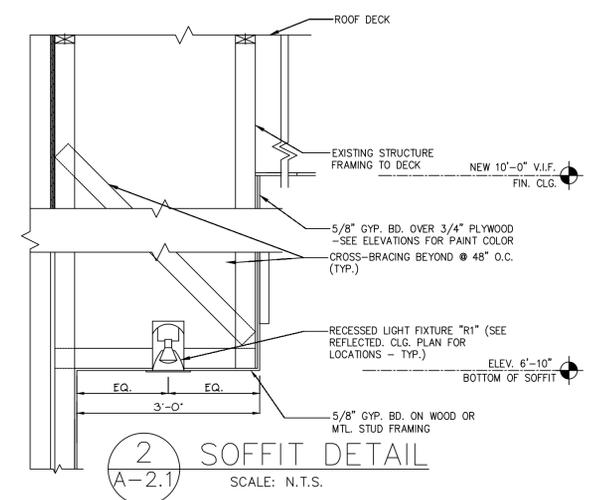
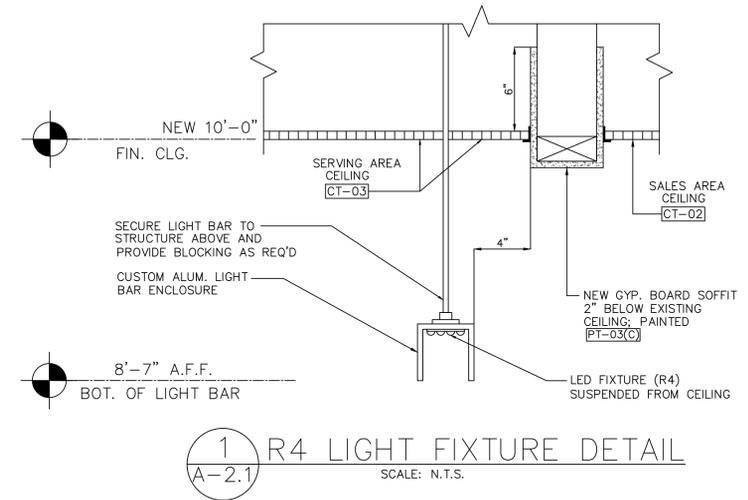
JOB LOCATION:  
**CAMBRIDGE, MA**  
 655 MASS. AVENUE

CEILING DETAIL;  
 SCHEDULE; NOTES

CONSTRUCTION: REMODEL  
 IMAGE TYPE: NEXT GEN OMMI COOL PALETTE

SHEET  
**A-2.1**

JOB#: D23033  
 DATE: 08/13/23  
 PC#: 364942  
 C.M.: MARK DONAHOE



**NOTE:**  
 FRANCHISEE AND GENERAL CONTRACTOR  
 TO COORDINATE LIGHTING VENDOR DECISION.  
 VILLA or SPECIALTY LIGHTING

LIGHTING SCHEDULE - VILLA LIGHTING			
CODE	DESCRIPTION	MANUFACTURER	PRODUCT
A	WALL-WASH FIXTURE- TO BE USED AT ARTWORK AND LROD SIGN	CONTECH	RL20SA3-35K-12-D/ CTR2002CLR-P
B	PROVIDED BY WALK-IN BOX MANUF.	VARIES	VARIES
C	TRACK LIGHT & HEAD- USED @ WALL W/ ART WORK AND WHERE CEILING IS OPEN	JUNO	R600L-35K-BL
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT (WHITE)	EXITRONIX	EBU-W-LED-51-52
EBU-B	ULTRA COMPACT LED EMERGENCY UNIT- USED ON WT-02 WALL ONLY (BLACK)	EXITRONIX	EBU-BL-LED-51-52
EMR	EXTERIOR COMBO LED REMOTE EXIST LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (GRAY)	EXITRONIX	MLED-2-G-WP
EWS-1	WALL PACK (GRAY) EXTERIOR- USED ON DARK WALL FINISH	WAC	WP-LED227-30-AGH
EWS-2	WALL PACK (WHITE) EXTERIOR- USED ON LIGHT WALL FINISH	WAC	WP-LED227-30-AWT
G	WALL PACK - ABOVE SERVICE DOOR	COOPER	XTOR3A
EX1	COMBO LED EXIT SIGN W/ LIGHT HEADS (WHITE)	EXITRONIX	VLED-U-WH-EL90
BL	BATHROOM SCONCE	LUMENCIA	LLW260D3K-SN
LED 2	EXTERIOR RECESSED LIGHT FIXTURE- USED UNDER ORANGE BEAM CANOPY	LUMARK	XTOR2B-W
LED 11	NOT USED		
LED 12	EXTERIOR LIGHT FIXTURE- USED ON TOP OF CHARCOAL TRIM AND FIELD FRAMED ORANGE BEAM	SOLID STATE LUMINARIES SOLUTIONS OF LIGHTING	SSL-LSSL-5165-400 LUMENS
LED 13	EXTERIOR LIGHT FIXTURE- USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB		TO BE PROVIDED BY PREFAB ORANGE BEAM VENDOR
LED 14	EXTERIOR LIGHT FIXTURE - ACCENT LIGHT USED ON TOP OF CHARCOAL TRIM AT BASE OF MONOLITH ONLY	LED POWER	HB308-48"-41K-15D-AC
OC	WALL MOUNTED OCCUPANCY SENSOR	WATTSTOPPER	WS-250-W
P1	8' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-96L-S62W6200L-DMV-35K-BK
P2	4' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-48L-S62W3100L-DMV-35K-BK
P3	PENDANT CHANDELIER- USED ABOVE COMMUNITY TABLE	TECH LIGHTING	700TD-ALVPMC-OS-LED930
PKL3	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAI PRV-A40-UNV-T3-SA-BZ
PKL4	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAI PRV-A40-UNV-T4-SA-BZ
R1	RECESSED LED LIGHT FIXTURE	CREE	RC6/RC6T-1600L-35K
R2	2X2 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF	CREE	CR22-32L-35K-S-HD
R3	4" LED ADJ DOWNLIGHT, 400K, 200 LUMEN	NORA	NCH-436-L20-40-D-SF
R4	LED LINEAR LIGHT BAR- USED ABOVE FRONT LINE [NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1FTx1FT CORNER	PINNACLE ARCHITECTURAL LIGHTING	EX3D-A-N-835VHO-8-S/AC120ST
R5	2X4 LAY-IN LED LIGHT FIXTURE, USED IN BACK OF HOUSE	LSI	SFP24-LED-50-UE-DIM-35-U
R6	2X2 LAY-IN LED LIGHT FIXTURE, USED OVER SERVICE AREA - REMODELS ONLY	LSI	SFP22-LED-UE-30-DIM-35-U
R7	2X4 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE - REMODELS ONLY	CREE	CR24-40L-35K-S-HD
WSCX-2	EXTERIOR SIGN LIGHT FIXTURE - USED AT ACCENT PANELS	HI-LITE MFG INC.	HI-HDMR16/18-1-119/ MR16AD1C293010T-10-S1

**GENERAL NOTES**

- ALL INTERIOR & EXTERIOR LIGHTING TO BE LED (INCLUDING IN THE WALK-IN BOX).
- EFFECTIVE LIGHTING CONTROLS STANDARD THROUGHOUT. OCCUPANCY SENSORS TO BE USED IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY (RESTROOMS, OFFICE, CONFERENCE ROOMS AND ETC.). INTEGRATE OCCUPANCY SENSORS IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY INCLUDING: RESTROOMS, OFFICE, WALK-IN BOX, CONFERENCE ROOMS & CLOSETS.
- REFER TO MASTER FINISH SCHEDULE FOR CEILING FINISHES.
- OPEN CEILING IN SALES & SEATING AREA TO BE ALTERNATIVE OPTION.
- ALL DEVICES (DIFFUSERS, RETURNS, SMOKE DETECTORS, ETC.) TO MATCH CEILING WHEN OPEN CEILING IS USED ALL PIPES AND DUCTS AND ALL OTHER ITEMS THAT ARE ON CEILING TO BE PAINTED TO MATCH CEILING.
- LAYOUT NOTES:
  - PROVIDE EMERGENCY LIGHTS & SMOKE DETECTORS AS REQUIRED BY LOCAL GOVERNING CODE.
  - ADD THE RH REMOTE WEATHER PROOF EMERGENCY HEAD (PRODUCT #Z1PB) TO THE EXTERIOR EGRESS DOORS IF REQUIRED BY CODE.
  - HOOD OVER SANDWICH STATION IS RECOMMENDED BUT NOT REQUIRED. ARCHITECT / ENGINEER MUST REVIEW LOCAL CODES TO DETERMINE WHETHER A HOOD IS REQUIRED. IF A HOOD IS NOT USED IT IS REQUIRED THAT AN EXHAUST GRILL BE PLACED IN THE CEILING ABOVE THE SANDWICH STATION. IF NO EXHAUST IS PROVIDED AT THE SANDWICH STATION THE FRP PANELS AND / OR DIGITAL MENU BOARDS COULD BE AFFECTED BY THE HEAT FROM THE SANDWICH STATION.

LIGHTING SCHEDULE - SPECIALTY LIGHTING			
CODE	DESCRIPTION	MANUFACTURER	PRODUCT
A	WALL-WASH FIXTURE- TO BE USED AT ARTWORK AND LROD SIGN	ATTAINED	AT-DL3-12-35-15 / AT-DL3-TRIM-WH (ADJUSTABLE)
B	PROVIDED BY WALK-IN BOX MANUF.	N/A	
C	TRACK LIGHT & HEAD- USED @ WALL W/ ART WORK AND WHERE CEILING IS OPEN	ATTAINED	AT-TR-HP-10-35-82-24-BK-J
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT (WHITE)	ASTRALITE	EU-4-LED-W
EBU-B	ULTRA COMPACT LED EMERGENCY UNIT- USED ON WT-02 WALL ONLY (BLACK)	ASTRALITE	EU-4-LED-B
EMR-1	EXTERIOR COMBO LED REMOTE EXIST LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (GRAY)	BEST	RHLED-1-PWP-1W
EMR-2	EXTERIOR COMBO LED REMOTE EXIST LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (BLACK)	BEST	RHLED-2-PWP-1W
EWS-1	WALL PACK (GRAY) EXTERIOR- USED ON DARK WALL FINISH	WAC	WP-LED227-30-AGH
EWS-2	WALL PACK (WHITE) EXTERIOR- USED ON LIGHT WALL FINISH	WAC	WP-LED227-30-AWT
EX1	WALL PACK - ABOVE SERVICE DOOR	BEST	LEDXCUE2RWRC
BL	COMBO LED EXIT SIGN W/ LIGHT HEADS (WHITE)	N/A	
G	BATHROOM SCONCE	COOPER LIGHTING	XTOR3A
LED 2	EXTERIOR RECESSED LIGHT FIXTURE- USED UNDER ORANGE BEAM CANOPY	ATTAINED	DRDH-R-4/ DRD2M-10-9-40/ DRD2T-R-4-S-W
LED 11	NOT USED		
LED 12	EXTERIOR LIGHT FIXTURE- USED ON TOP OF CHARCOAL TRIM AND	DIODE	120V LED/35K
LED 13	EXTERIOR LIGHT FIXTURE- USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB OPTION	DIODE	120V LED/35K
LED 14	EXTERIOR LIGHT FIXTURE - ACCENT LIGHT USED ON TOP OF CHARCOAL TRIM AT BASE OF MONOLITH ONLY	ATTAINED	LWW-XX-XX-35K
OC	WALL MOUNTED OCCUPANCY SENSOR	WATTSTOPPER	WS-301-W
P1	8' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-96L-S62W6200L-DMV-35K-BK
P2	4' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-48L-S62W3100L-DMV-35K-BK
P3	PENDANT CHANDELIER- USED ABOVE COMMUNITY TABLE	BESAHLITE	700TD-ALVPMC-OS-LED930
PKL3	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAI PRV-A40-UNV-T3-SA-BZ
PKL4	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAI PRV-A40-UNV-T4-SA-BZ
R1	RECESSED LED LIGHT FIXTURE	CREE	CR6/RC6-1600-35K
R2	2X2 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE	ATTAINED	AT-CB-22-30DIM-37K
R3	4" LED ADJ DOWNLIGHT, 400K, 200 LUMEN	ATTAINED	AT-DL4-12-35K-WH-DL - AT-DL4-TRIM-WH
R4	LED LINEAR LIGHT BAR- USED ABOVE FRONT LINE [NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1FTx1FT CORNER	ATTAINED	AT-LF-D-XX-XX-35K DB
R5	2X4 LAY-IN LED LIGHT FIXTURE, USED IN BACK OF HOUSE	ATTAINED	AT-PN-45W-37K
R6	2X2 LAY-IN LED LIGHT FIXTURE, USED OVER SERVICE AREA - REMODELS ONLY	ATTAINED	AT-PN-45W-37K
R7	2X4 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE - REMODELS ONLY	ATTAINED	AT-CB-24-50-DIM-37K
WSCX-2	EXTERIOR SIGN LIGHT FIXTURE - USED AT ACCENT PANELS	HI-LITE MFG INC.	H-PAR20-119/18-119

**LIGHTING SCHEDULE NOTES**

- PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REF. NATIONAL ACCOUNT SOURCE INFO FOR LAMP SPECS & VILLA LIGHTING RE-LAMPING PROGRAM.
- ALL BALLASTS SHALL BE HIGH POWER FACTOR.
- PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.
- COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN.
- LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.

**LIGHTING SCHEDULE NOTES**

- PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REF. NATIONAL ACCOUNT SOURCE INFO FOR LAMP SPECS.
- ALL BALLASTS SHALL BE HIGH POWER FACTOR.
- PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.
- COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN.
- LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.

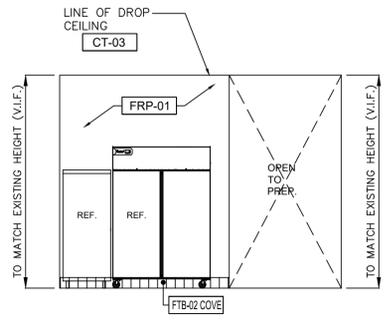


**KITCHEN AND STO. ACCESSORIES**

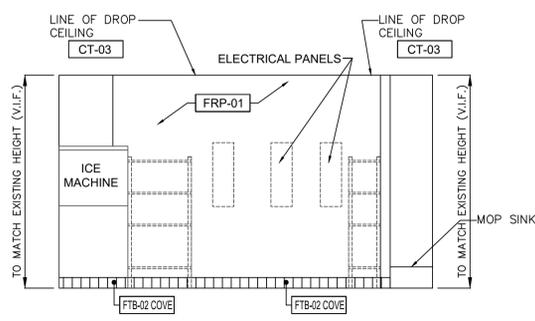
- 2 SOAP DISPENSERS - PROCTOR AND GAMBLE COMPANY - SEE NATIONAL ACCOUNT SOURCE INFO ON EXTRANET.
- CHEMICAL DISPENSER - PROCTOR AND GAMBLE COMPANY - SEE NATIONAL ACCOUNT SOURCE INFO ON EXTRANET.
- 7 SHELF STANDARDS - KNAPE & VOGT, 87 ANO-24 IN
- 14 SHELF BRACKETS - KNAPE & VOGT, 187LL ANO-12 IN
- 14 SHELF CLIPS - KNAPE AND VOGT, 214 BLK
- PAPER TOWEL HOLDER - AMERICAN SPECIALTIES, INC., 0245SS

**ADA NOTES:**

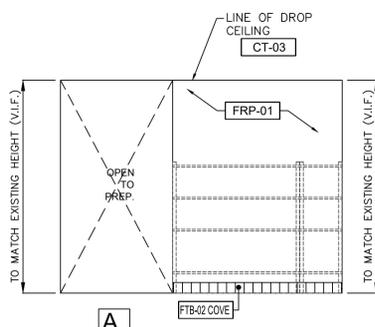
- THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE BARRIER FREE REQUIREMENTS FOR THE APPLICABLE STATES AND THE AMERICAN DISABILITIES ACT (ADA) AND SHALL ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE ACCORDING TO THE STRICTER REQUIREMENTS OF THE APPLICABLE STANDARDS. THE FOLLOWING IS A PARTIAL LIST OF REQUIREMENTS.
- DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.
  - TOILETS:
    - LAVATORY TO HAVE LEVER HANDLES, SELF METERING FAUCETS OR SPRING FAUCET. FAUCETS SHALL BE SET TO REMAIN OPEN FOR 10 SECONDS MINIMUM.
    - A COAT HOOK 48" ABOVE THE FLOOR SHALL BE MOUNTED ADJACENT TO THE BARRIER FREE STALL DOOR.
    - LOCATE THE WATER CLOSET 16" TO 18" FROM THE CENTER LINE OF THE FIXTURE TO THE WALL. THE SEAT WILL BE 17" TO 19" ABOVE THE FLOOR TO THE TOP OF SEAT. FLUSH HANDLE TO BE ON EXPOSED SIDE OF WATER CLOSET.
    - PROVIDE ONE 42" AND ONE 36" LONG x 1 1/2" OUTSIDE DIAMETER PEENED GRAB BARS, 1 1/2" FROM THE WALL WITH ONE BEHIND AT 12" FROM CENTER LINE OF WATER CLOSET ON ONE SIDE. ONE ADJACENT TO AT 12" FROM THE WALL 33"-36" PARALLEL TO AND ABOVE THE FLOOR.
    - LAVATORY TO BE MOUNTED 34" MAX. ABOVE THE FINISHED FLOOR TO RIM WITH KNEE SPACE OF 30" IN WIDTH AND 27" IN CLEAR HEIGHT. (29" CLEAR UNDER FRONT EDGE)
    - INSTALL MIRROR 40" MAX. ABOVE THE FINISHED FLOOR TO BOTTOM EDGE OF REFLECTING SURFACE (MIRROR GLASS BOTTOM) AND 72" TO TOP.
    - DISPENSERS TO BE MOUNTED A MAXIMUM OF 42" ABOVE THE FLOOR TO ALL OPERATING OR DISPENSING SLOTS.
    - TOILET PAPER DISPENSERS MOUNTED 19" MIN. TO CENTER LINE ABOVE THE FLOOR AND 7" MINIMUM AND 9" MAXIMUM FROM FRONT EDGE OF WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER



**1**  
A8.1  
INTERIOR ELEVATION

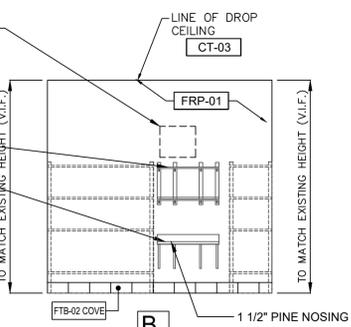


**2**  
A8.1  
INTERIOR ELEVATION

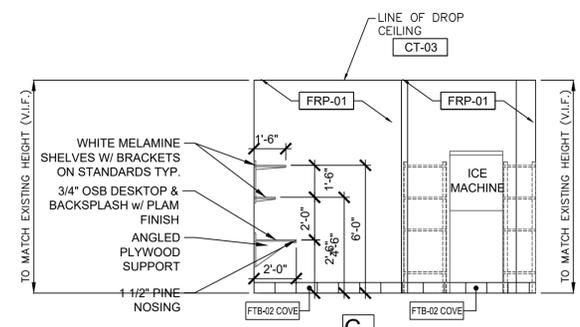


**A.**

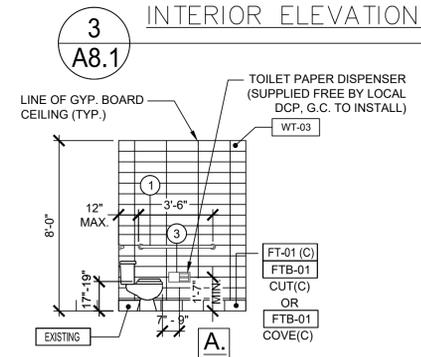
MEDIA CABINET TO BE WALL MOUNTED OR ON SHELF. G.C. TO COORDINATE LOCATION WITH INSTALLER TO ENSURE PROPER VENTILATION. NOTE: FOR LOCATIONS WITH DIGITAL DT MENU BOARDS ONLY.



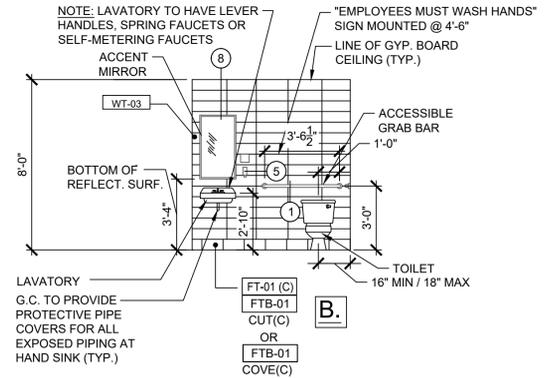
**B.**



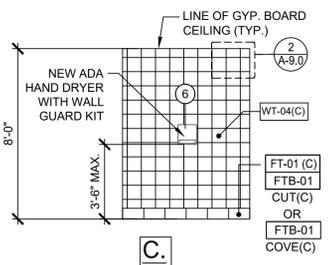
**C.**



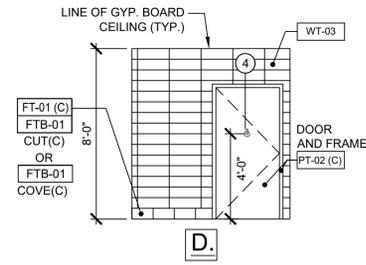
**3**  
A8.1  
RESTROOM ELEVATION



**B.**



**C.**



**D.**

RESTROOM EQUIPMENT SCHEDULE				
CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
1	GRAB BARS	ASI 3701-18P (18"), -36P (36") & -42P (42")	36" MAX. A.F.F.	NOTE C
2	SWING-UP GRAB BAR	BOBRICK #B-4998.99	SEE INSTALLATION INSTRUCTIONS	NOTE C, INSTALL WHEN REQUIRED
3	TOILET PAPER HOLDER	KC PROFESSIONAL 09551	20" BOT OF UNIT, SURFACE MOUNTED	
4	COAT HOOK	ASI 0751	48" A.F.F., MOUNTED ON DOOR	
5	SOAP DISPENSER	DERMA FOAM E-KAY CHEMICAL COMPANY		NOTE A, C
6	AUTOMATIC HAND DRYER	"WORLD VERDIR" Q974-A - WHITE OR Q973-A - STAINLESS OR "EXCEL" XLERATOR THIN AIR TASI WG - WHITE OR TASI WG - STAINLESS		NOTE A, C & E
7	HAND DRYER WALL GUARD	WORLD		NOTE F
8	MIRROR (18"x30")	ASI 0620-2436	40" A.F.F. TO BOTTOM	NOTE C
9	TRASH RECEPTACLE	ASI 0458	41"-45" A.F.F. TO OPENING FOR ADA	
10	BABY CHANGING STATION	ASI 9012 HORIZONTAL OR ASI 9015 VERTICAL	27" TO BOTTOM OF UNIT	NOTE C
11	SANITARY NAPKIN DISPOSAL	ASI 0852	24" TO TOP OF UNIT	WOMEN'S RESTROOM ONLY
12	SEAT COVER DISPENSER (OPTIONAL)	ASI 0477 SM		(OPTIONAL)
13	WALL SHELF	ASI 0692-516 (5"x16")	42" A.F.F. FOR ADA	NOTE C (OPTIONAL)

**NOTES**

NOTE A: OPERATING CONTROLS OF ALL HAND DRYERS, SOAP DISPENSERS AND MULTI PURPOSE UNITS TO BE 42" A.F.F.

NOTE B: G.C. TO FIELD VERIFY ALL SIZES

NOTE C: PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND ACCESSORIES

NOTE D: TOILET TISSUE & PAPER TOWEL DISPENSERS SUPPLIED FREE FROM LOCAL DCP; INSTALLED BY G.C.

NOTE E: HAND DRYER TO BE ORDERED FROM NATIONAL ACCOUNT SUPPLIER AND IS REQUIRED TO HAVE STANDARD DBI GREEN MESSAGING/BRANDING.

NOTE F: AVAILABLE WITH HAND DRYER; CAN BE PURCHASED SEPARATELY (FOR REMODELS).

**RESTROOM EQUIPMENT LIST**

ALTERNATE HANDS-FREE TOILET EQUIPMENT IS AVAILABLE FOR OPTIONAL USE IN RESTROOMS

**WALL MOUNTED LAVATORY:** "LUCERNE" BY AMERICAN STANDARD #0355.012  
 AUTOMATIC FAUCET (STANDARD): SLOAN #ETF-600-B-BOT. W/ TRANSFORMER #EL-154 AND 0.5 GPM AERATOR #ETF-1024-A.

**TANK TOILET (STANDARD):**  
 STANDARD OPTION: AMERICAN STANDARD CADET PRO RIGHTHEIGHT ELONGATED 1.28 GPF #215AA.104 (LEFT TRIP) #215AA.105 (RIGHT TRIP)  
 PRESSURE-ASSIST OPTION: AMERICAN STANDARD CADET FLOWISE WIGHTHEIGHT ELONGATED, PRESSURE ASSIST 1.1 GPF #2467.00 (LEFT TRIP) #2467.XXX (SPECIFY RIGHT TRIP)

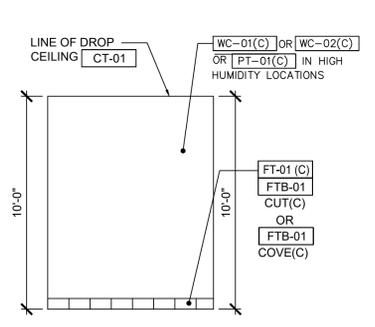
**TANKLESS TOILET (OPTIONAL):**  
 AMERICAN STANDARD MADERA FLOWISE ELONGATED, 1.28 GPF #3043.001  
 MANUAL FLUSH (STANDARD): SLOAN REGAL 111.1.28 (3782655) REGAL 186-1  
 AUTOMATIC FLUSH (OPTIONAL): SLOAN 8111-1.28 (3790071) EXPOSED, BATTERY POWERED, SENSOR ACTIVATED DUAL FLUSH FLUSHOMETER.

**URINAL:**  
 AMERICAN STANDARD WASHBROOK FLOWISE 0.5 GPF HIGH EFFICIENCY URINAL #6590.001  
 MANUAL FLUSH (STANDARD): SLOAN REGAL 111.1.28 (3782655) REGAL 186-1  
 AUTOMATIC FLUSH (OPTIONAL): SLOAN 8186-0.5 (3790088) TOUCH-FREE OPERATION, METAL COVER, OVERRIDE BUTTON & FLUSHO METER BODY LESS HANDLE OPENER.  
 WATERLESS URINAL (OPTIONAL - DD FLITE):  
 SLOAN WATERFREE URINAL WITH SLOANTEC GLAZE WES-4000-STG (1074000)

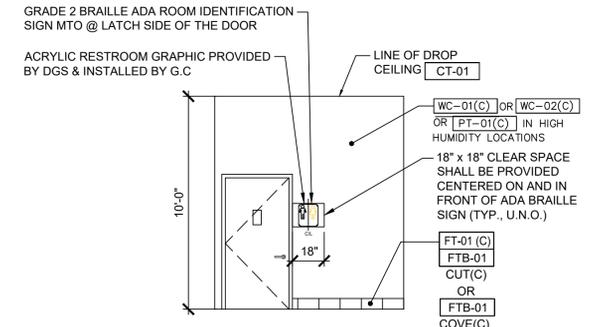
1. LOW FLOW PLUMBING FIXTURES MUST MEET FLUSH/FLOW FIXTURE VOLUMES STANDARDS OF 1.28 GPF TOILETS, 0.5 GPF URINALS, 0.5 GPM HAND WASH FAUCETS, AND 2.2 GPM POT SINK FAUCET (BY OTHERS) WITH 1.24 GPM SPRAY HEAD (BY OTHERS)

2. G.C. TO PROVIDE PRICING FOR STANDARD EQUIPMENT UNLESS DIRECTED OTHERWISE BY FRANCHISEE.

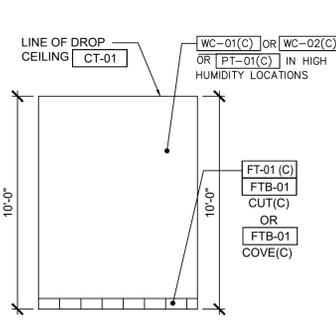
<b>VENDOR</b> RESTROOM REMODELS 15 HAMMATT ST. - PO BOX 34 IPSWICH, MA 01938	<b>NEWTON DISTRIBUTORS</b> VENDOR CONTACT: PEDRO GRULLON P: 877-837-7745 E: PEDRO@NEWTONDISTRIBUTING.COM
<b>FOR RESTROOM FIXTURES AND ACCESSORIES</b> PHONE: 617-500-2554 / FAX: 617-845-0350 WWW.RESTROOMREMODELS.COM SALES@RESTROOMREMODELS.COM	



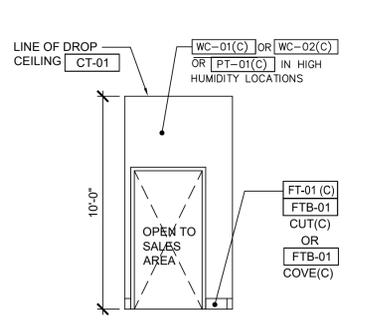
**A.**



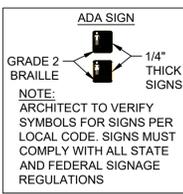
**B.**



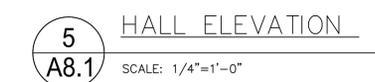
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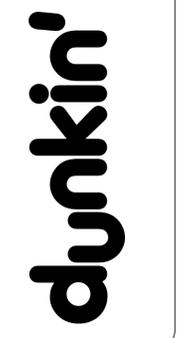
**D.**



ADA SIGN  
 GRADE 2 BRAILLE  
 NOTE: ARCHITECT TO VERIFY SYMBOLS FOR SIGNS PER LOCAL CODE. SIGNS MUST COMPLY WITH ALL STATE AND FEDERAL SIGNAGE REGULATIONS



**5**  
A8.1  
SCALE: 1/4"=1'-0"



**JAMES D. SMITH ARCHITECTS**  
 522 BAY LANE  
 CENTERVILLE, MA 02632  
 PHONE: 508-357-5920  
 EMAIL: JAMES@SMITHARCHITECTS.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	NSM	08/13/23

JOB LOCATION: CAMBRIDGE, MA  
 655 MASS. AVENUE  
 INTERIOR ELEVATIONS  
 IMAGE TYPE: NEXT GEN OMNI  
 COOL PALETTE  
 CONSTRUCTION: REMODEL

SHEET  
**A-8.1**  
 JOB#: D23033  
 DATE: 08/13/23  
 PC#: 364942  
 C.M.: MARK DONAHOE